



County of Roanoke  
Community Development  
Planning & Zoning

5204 Bernard Drive  
P O Box 29800  
Roanoke, VA 24018  
(540) 772-2068 FAX (540) 776-7155

For Staff Use Only

Date received: 1/22/15	Received by: JM
Application fee: 1137.00	PC/BZA date: 3/3/15
Placards issued:	BOS date: 3/24/15
Case Number: 5-3/2015	

ALL APPLICANTS

Check type of application filed (check all that apply)

☒ Rezoning ☐ Special Use ☐ Variance ☐ Waiver ☐ Administrative Appeal ☐ Comp Plan (15.2-2232) Review

Applicants name/address w/zip  
Nexstar Broadcasting, Inc., c/o Nicole  
Ingle, 10 S Jefferson St, Ste 1400  
Roanoke, VA 24011

Phone: 540-983-7561  
Work: 540-983-7561  
Cell #: 540-230-7558  
Fax No.: 540-983-7611

Owner's name/address w/zip  
Roanoke Valleypointe, LLC, c/o Bill Poe,  
Hall Associates, 213 S Jefferson St,  
Ste 1007, Roanoke, VA 24011

Phone #: 540-982-0011  
Work: 540-982-0011  
Fax No. #: 540-344-1730

Property Location  
5305 and 5310 Valley Park Drive  
Roanoke, VA 24019

Magisterial District: Catawba  
Community Planning area: Peters Creek

Tax Map No.: 037.07-01-16.00-0000

Existing Zoning: County - I1/Industrial

Size of parcel(s): Acres: 5.59

Existing Land Use: Office use primarily-see attached.

REZONING, SPECIAL USE PERMIT, WAIVER AND COMP PLAN (15.2-2232) REVIEW APPLICANTS (R/S/W/CP)

Proposed Zoning: C-2 Commercial

Proposed Land Use: Communications services and office primarily-see attached.

Does the parcel meet the minimum lot area, width, and frontage requirements of the requested district?

Yes ☒ No ☐ IF NO, A VARIANCE IS REQUIRED FIRST.

Does the parcel meet the minimum criteria for the requested Use Type? Yes ☒ No ☐

IF NO, A VARIANCE IS REQUIRED FIRST

If rezoning request, are conditions being proffered with this request? Yes ☐ No ☒

VARIANCE, WAIVER AND ADMINISTRATIVE APPEAL APPLICANTS (V/W/AA)

Variance/Waiver of Section(s) \_\_\_\_\_ of the Roanoke County Zoning Ordinance in order to:

Appeal of Zoning Administrator's decision to \_\_\_\_\_

Appeal of Interpretation of Section(s): \_\_\_\_\_ of the Roanoke County Zoning Ordinance

Appeal of Interpretation of Zoning Map to \_\_\_\_\_

Is the application complete? Please check if enclosed. APPLICATION WILL NOT BE ACCEPTED IF ANY OF THESE ITEMS ARE MISSING OR INCOMPLETE.

R/S/W/CP V/AA

<input checked="" type="checkbox"/>	Consultation
<input checked="" type="checkbox"/>	Application
<input checked="" type="checkbox"/>	Justification

Consultation  
Application  
Justification

R/S/W/CP V/AA

<input checked="" type="checkbox"/>	8 1/2" x 11" concept plan
<input checked="" type="checkbox"/>	Metes and bounds description
<input checked="" type="checkbox"/>	Water and sewer application

8 1/2" x 11" concept plan  
Metes and bounds description  
Water and sewer application

R/S/W/CP V/AA

<input checked="" type="checkbox"/>	Application fee
<input checked="" type="checkbox"/>	Proffers, if applicable
<input checked="" type="checkbox"/>	Adjoining property owners

Application fee  
Proffers, if applicable  
Adjoining property owners

I hereby certify that I am either the owner of the property or the owner's agent or contract purchaser and am acting with the knowledge and consent of the owner.

By: Harvey Cohen Owner's Signature  
Harvey Cohen, President

Nexstar Broadcasting, Inc.

By: Joseph P. McNamara  
Name: JOSEPH P. MCNAMARA  
Title: VP/GM

**JUSTIFICATION FOR REZONING, SPECIAL USE PERMIT WAIVER OR COMP PLAN (15.2-2232) REVIEW REQUESTS**

Applicant Nexstar Broadcasting, Inc. (Owner is Roanoke Valleypointe, LLC.)

The Planning Commission will study rezoning, special use permit waiver or community plan (15.2-2232) review requests to determine the need and justification for the change in terms of public health, safety, and general welfare. Please answer the following questions as thoroughly as possible. Use additional space if necessary.

Please explain how the request furthers the purposes of the Roanoke County Ordinance as well as the purpose found at the beginning of the applicable zoning district classification in the Zoning Ordinance.

See attached.

Please explain how the project conforms to the general guidelines and policies contained in the Roanoke County Community Plan.

See attached.

Please describe the impact(s) of the request on the property itself, the adjoining properties, and the surrounding area, as well as the impacts on public services and facilities, including water/sewer, roads, schools, parks/recreation and fire and rescue.

See attached.

## CONCEPT PLAN CHECKLIST

A concept plan of the proposed project must be submitted with the application. The concept plan shall graphically depict the land use change, development or variance that is to be considered. Further, the plan shall address any potential land use or design issues arising from the request. In such cases involving rezonings, the applicant may proffer conditions to limit the future use and development of the property and by so doing, correct any deficiencies that may not be manageable by County permitting regulations.

The concept plan should not be confused with the site plan or plot plan that is required prior to the issuance of a building permit. Site plan and building permit procedures ensure compliance with State and County development regulations and may require changes to the initial concept plan. Unless limiting conditions are proffered and accepted in a rezoning or imposed on a special use permit or variance, the concept plan may be altered to the extent permitted by the zoning district and other regulations.

A concept plan is required with all rezoning, special use permit, waiver, community plan (15.2-2232) review and variance applications. The plan should be prepared by a professional site planner. The level of detail may vary, depending on the nature of the request. The County Planning Division staff may exempt some of the items or suggest the addition of extra items, but the following are considered minimum:

### ALL APPLICANTS

- ☐ a. Applicant name and name of development
- ☐ b. Date, scale and north arrow
- ☐ c. Lot size in acres or square feet and dimensions
- ☐ d. Location, names of owners and Roanoke County tax map numbers of adjoining properties
- ☐ e. Physical features such as ground cover, natural watercourses, floodplain, etc.
- ☐ f. The zoning and land use of all adjacent properties
- ☐ g. All property lines and easements
- ☐ h. All buildings, existing and proposed, and dimensions, floor area and heights
- ☐ i. Location, widths and names of all existing or platted streets or other public ways within or adjacent to the development
- ☐ j. Dimensions and locations of all driveways, parking spaces and loading spaces

### Additional information required for REZONING and SPECIAL USE PERMIT APPLICANTS

- ☐ k. Existing utilities (water, sewer, storm drains) and connections at the site
- ☐ l. Any driveways, entrances/exits, curb openings and crossovers
- ☐ m. Topography map in a suitable scale and contour intervals
- ☐ n. Approximate street grades and site distances at intersections
- ☐ o. Locations of all adjacent fire hydrants
- ☐ p. Any proffered conditions at the site and how they are addressed
- ☐ q. If project is to be phased, please show phase schedule

I certify that all items required in the checklist above are complete.

Roanoke Valleypointe, LLC

By Valleypointe Management, Inc., its manager

By: Harvey M. Cohen

Signature of applicant  
Name: Harvey Cohen  
Title: President

Nexstar Broadcasting, Inc.

By: Joseph P. McNamara

Name: JOSEPH P. McNAMARA  
Title: VP/IGM

1-21-2015  
Date

1-22-2015  
Date



## POTENTIAL OF NEED FOR TRAFFIC ANALYSIS AND/OR TRAFFIC IMPACT STUDY

The following is a list of potentially high traffic-generating land uses and road network situations that could elicit a more detailed analysis of the existing and proposed traffic pertinent to your rezoning, subdivision waiver, public street waiver, or special use permit request. If your request involves one of the items on the ensuing list, we recommend that you meet with a County planner, the County traffic engineer, and/or Virginia Department of Transportation staff to discuss the potential additional traffic related information that may need to be submitted with the application in order to expedite your application process.

*(Note this list is not inclusive and the County staff and VDOT reserve the right to request a traffic study at any time, as deemed necessary.)*

### High Traffic-Generating Land Uses:

- Single-family residential subdivisions, Multi-family residential units, or Apartments with more than 75 dwelling units
- Restaurant (with or without drive-through windows)
- Gas station/Convenience store/Car wash
- Retail shop/Shopping center
- Offices (including: financial institutions, general, medical, etc.)
- Regional public facilities
- Educational/Recreational facilities
- Religious assemblies
- Hotel/Motel
- Golf course
- Hospital/Nursing home/Clinic
- Industrial site/Factory
- Day care center
- Bank
- Non-specific use requests

### Road Network Situations:

- Development adjacent to/with access onto/within 500-ft of intersection of a roadway classified as an arterial road (e.g., Rte 11, 24, 115, 117, 460, 11/460, 220, 221, 419, etc)
- For new phases or changes to a development where a previously submitted traffic study is more than two (2) years old and/or roadway conditions have changed significantly
- When required to evaluate access issues
- Development with ingress/egress on roads planned or scheduled for expansion, widening, improvements, etc. (i.e. on Long Range Transportation Plan, Six-Yr Road Plan, etc.)
- Development in an area where there is a known existing traffic and/or safety problem
- Development would potentially negatively impact existing/planned traffic signal(s)
- Substantial departure from the Community Plan
- Any site that is expected to generate over one hundred (100) trips during the peak hour of the traffic generator or the peak hour on the adjacent streets, or over seven hundred fifty (750) trips in an average day

**Effective date: April 19, 2005**



## NOTICE TO APPLICANTS FOR REZONING, SUBDIVISION WAIVER, PUBLIC STREET WAIVER, OR SPECIAL USE PERMIT PETITION

### PLANNING COMMISSION APPLICATION ACCEPTANCE PROCEDURE

The Roanoke County Planning Commission reserves the right to continue a Rezoning, Subdivision Waiver, Public Street Waiver or Special Use Permit petition if new or additional information is presented at the public hearing. If it is the opinion of the majority of the Planning Commissioners present at the scheduled public hearing that sufficient time was not available for planning staff and/or an outside referral agency to adequately evaluate and provide written comments and suggestions on the new or additional information prior to the scheduled public hearing then the Planning Commission may vote to continue the petition. This continuance shall allow sufficient time for all necessary reviewing parties to evaluate the new or additional information and provide written comments and suggestions to be included in a written memorandum by planning staff to the Planning Commission. The Planning Commission shall consult with planning staff to determine if a continuance may be warranted.

### POTENTIAL OF NEED FOR TRAFFIC ANALYSES AND/OR TRAFFIC IMPACT STUDY

The Roanoke County Planning Commission reserves the right to continue a Rezoning, Subdivision Waiver, Public Street Waiver, or Special Use Permit petition if the County Traffic Engineer or staff from the Virginia Department of Transportation requests further traffic analyses and/or a traffic impact study that would be beneficial in making a land use decision (*Note: a list of potential land uses and situations that would necessitate further study is provided as part of this application package*).

This continuance shall allow sufficient time for all necessary reviewing parties to evaluate the required traffic analyses and/or traffic impact study and to provide written comments and/or suggestions to the planning staff and the Planning Commission. If a continuance is warranted, the applicant will be notified of the continuance and the newly scheduled public hearing date.

**Effective date: April 19, 2005**

Roanoke Valleypointe, LLC

**Name of Petition**

By Valleypointe Management, Inc., its manager

By: Harvey M. Cohen  
**Petitioner's Signature**  
 Harvey Cohen, President

1-21-2015

**Date**

Nexstar Broadcasting, Inc.

By: Joseph P. McManis  
**Name:** JOSEPH P. McMANIS  
**Title:** VP/GM

*Narrative submitted in rezoning of tract of land located on Valleypark Drive in the County of Roanoke, Virginia and designated as Parcel ID 037.07-01-16.00-0000.*

Roanoke Valleypointe, LLC is the owner of the property designated as Parcel ID 037.07-01-16.00-0000, which is located at 5305 and 5310 Valleypark Drive in the County of Roanoke, Virginia, as more particularly shown on a survey entitled "ALTA/ACSM LAND TITLE SURVEY OF ROANOKE VALLEYPONTE, LLC BEING TAX PARCEL 37.07-1-16 TRACT 3D-1A1 (P.B. 23, PAGE 81) SITUATED AT THE TERMINUS OF VALLEYPARK DRIVE" dated December 2, 1999, last revised June 27, 2000, prepared by Lumsden Associates, P.C., a copy of which is attached hereto (the "Property"). The Property is improved with two one-story buildings. The larger of the two buildings consists of approximately 38,455 square feet, and the smaller building consists of approximately 17,700 square feet.

The Property is currently zoned I-1 Industrial (Light) District, without conditions. The smaller building (with an address of 5310 Valleypark Drive) is currently used as office space, and the larger building (5305 Valleypark Drive) is currently used as office space with the exception of 14,830 square feet of vacant space, a small warehouse and a small medical laboratory. Roanoke Valleypointe, LLC is in the process of negotiating an agreement with Nexstar Broadcasting, Inc. ("Nexstar") to lease the approximately 14,830 square feet of vacant space in the larger building to be used for television production, broadcasting and other communications services and for office space. Nexstar intends to improve the Property and to add significant equipment to conduct its television transmission. Roanoke Valleypointe, LLC seeks to rezone the entire Property to C-2 Commercial in order to allow Nexstar's proposed use of the Property. The lease with Nexstar is planned to be a long term lease. The lease will be contingent on the rezoning of the Property being approved by the County. Nexstar recently purchased the FOX 21/27 (WFXR) television affiliate and the CW5 (WWCW) affiliate and wishes to expand the affiliates, to add jobs and to relocate the affiliates from their current location in Roanoke City to the Property in the County. Nexstar owns, operates or provides

services to over 100 television stations. Nexstar's portfolio includes affiliates of ABC, NBC, CBS and FOX among others.

The proposed zoning will result in a change of the use of the portion of the Property to be leased to Nexstar to a communications services use. The proposed rezoning will not have an effect on the surrounding area, is consistent with the County's Community Plan, the general purposes of the Zoning Ordinance and the purpose of the applicable district regulations in that it will cause the existing vacant space on the Property to be used and to be improved thereby encouraging economic development, will result in an increase in the real estate tax base of Roanoke County as a result of the improvements, will provide approximately 25 additional jobs for the citizens of the County and will conform to existing commercial uses in the industrial park in which it is located. Existing commercial uses in the industrial park include the DMV customer service center (which is zoned Commercial), Freedom First Credit Union corporate offices, the U.S. Forest Service and American Healthcare offices, among others. Most of the improvements to the Property will be made inside the larger building on the Property, and the only external changes to the Property will be the addition of two antennas, a fence and/or bollards to protect the antennas and a sign.

Roanoke Valleypointe, LLC respectfully request a rezoning of the Property from I-1 Industrial District to C-2 Commercial District, without conditions.

Respectfully submitted,

Roanoke Valleypointe, LLC (owner)  
By Valleypointe Management, Inc., its manager

By: Harvey M. Cohen

Name: Harvey Cohen

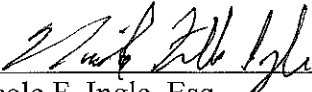
Title: President

Nexstar Broadcasting, Inc.

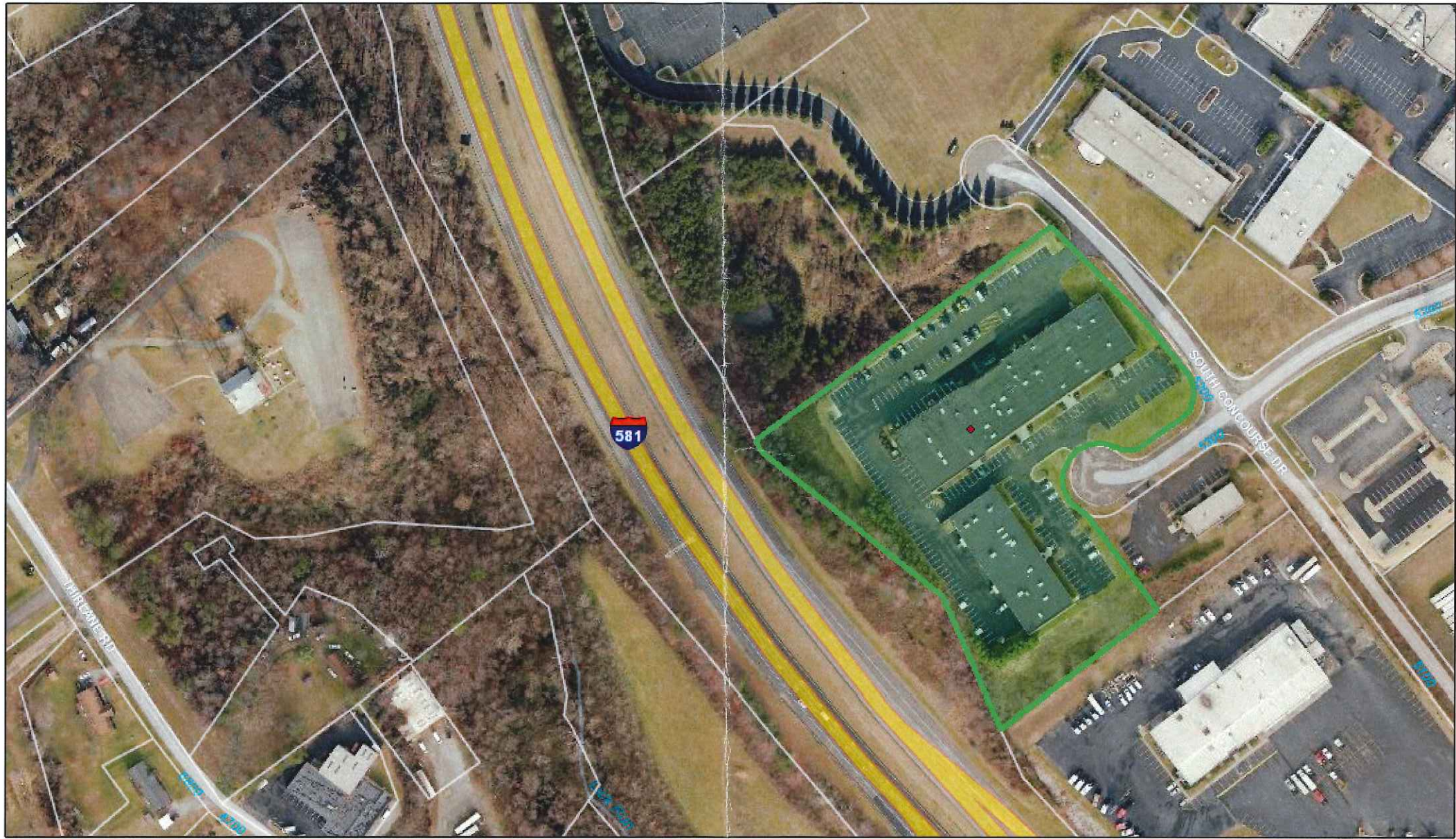
By: Joseph P. McNamara

Name: JOSEPH P. MCNAMARA

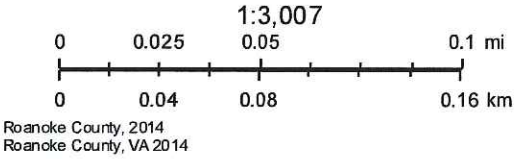
Title: VP/GM

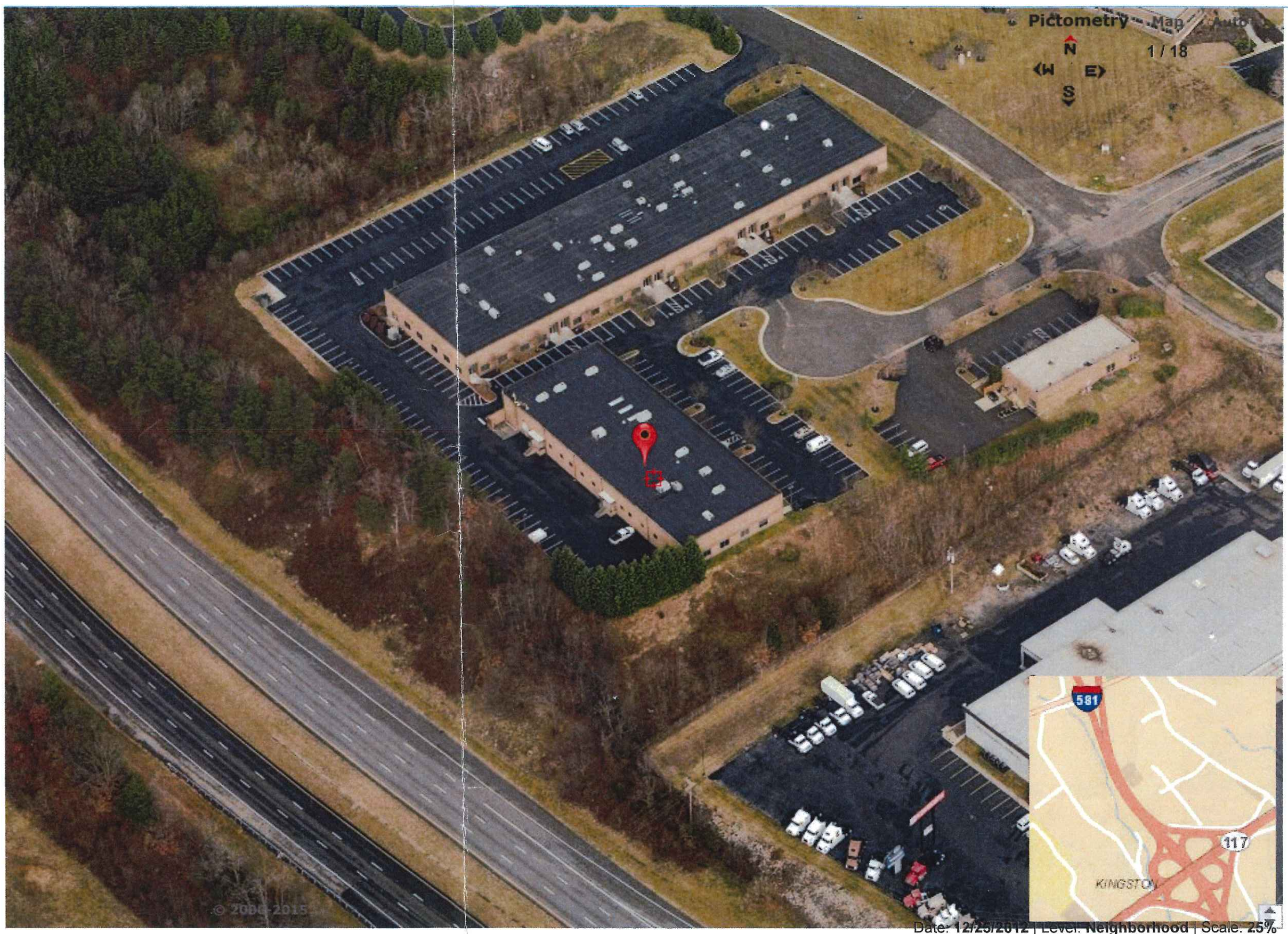
  
\_\_\_\_\_  
Nicole F. Ingle, Esq.  
Woods Rogers PLC (540) 983-7561  
10 S. Jefferson Street, Suite 1400  
Roanoke, VA 24011

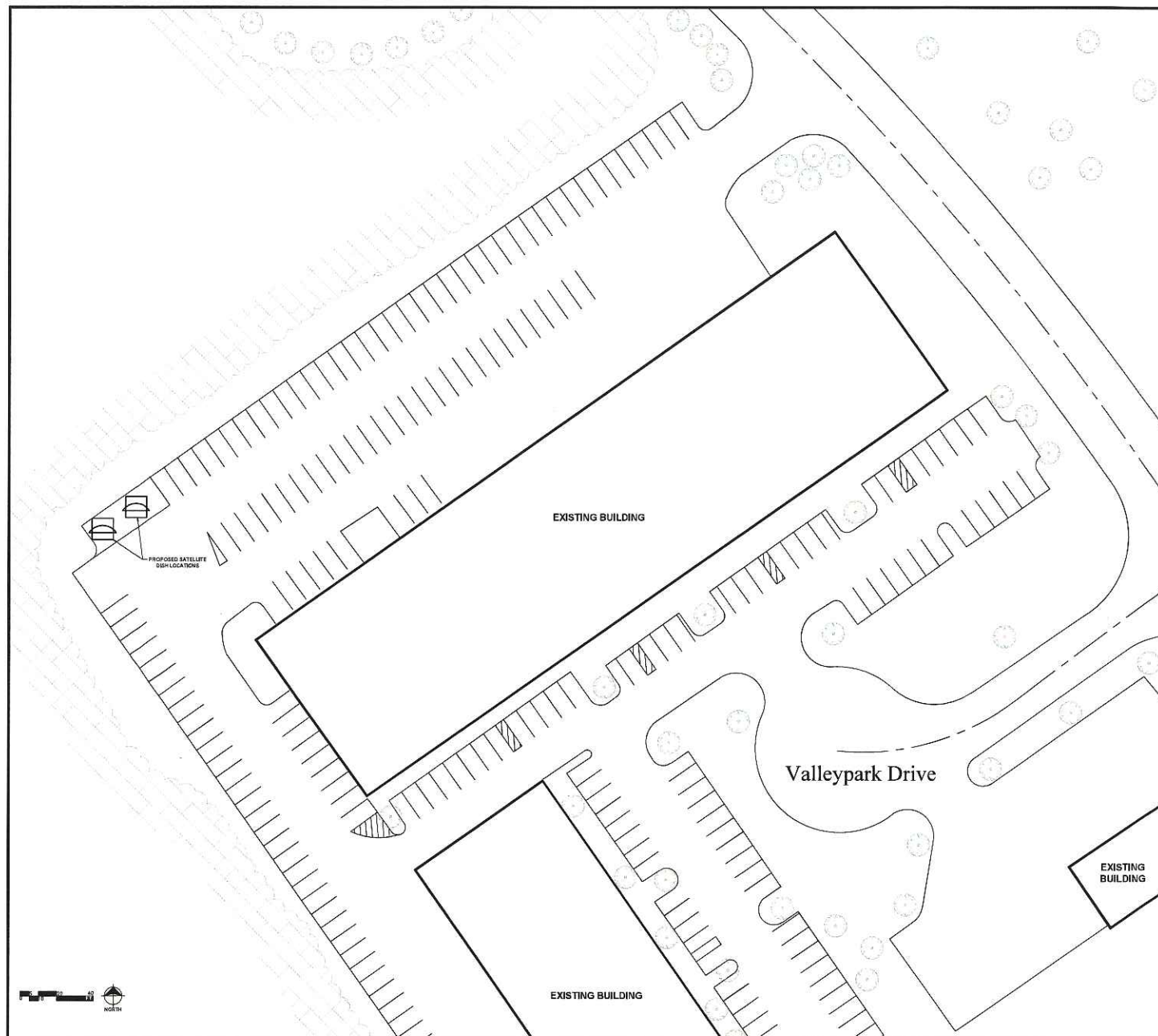
5305-5310 Valleypark Dr.

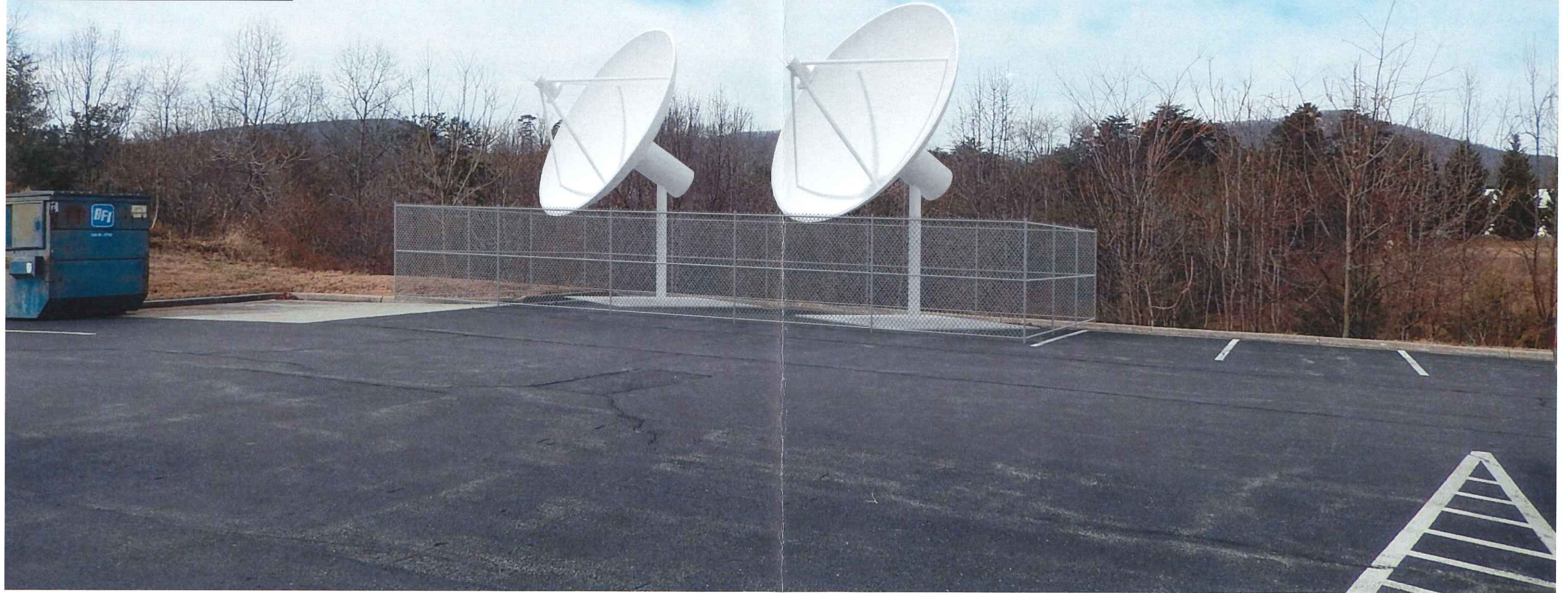
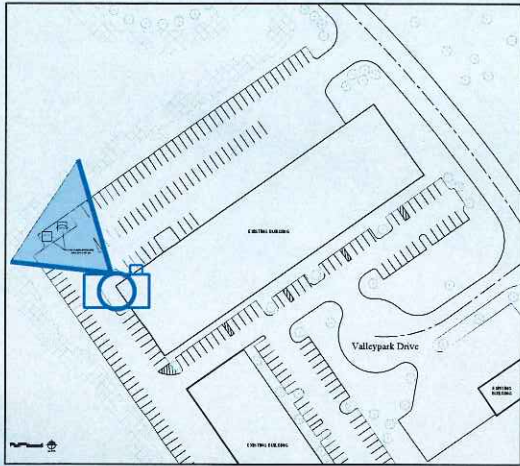


January 16, 2015









## Foundation Specifications

for 4.5-/4.6-Meter Earth Station Antennas



### 1.0 INTRODUCTION

1.1 This document specifies typical foundation characteristics, designs, requirements and dimensional specifications for the Andrew 4.5-/4.6-Meter Earth Station Antennas.

### 2.0 FOUNDATION LOADING CHARACTERISTICS

2.1 Foundation loads are applied to the foundation pad as shown in Figure 1. Positive applied forces are in the direction of the X, Y, and Z coordinate axes.

2.2 Varying load conditions are dependent upon icing, incident angle of the wind and elevation/azimuth angles of the antenna. Foundation loading for various icing, elevation/azimuth and wind conditions are listed in Table 1. Foundation loading moment for various elevation/azimuth versus wind conditions are listed in Table 2.

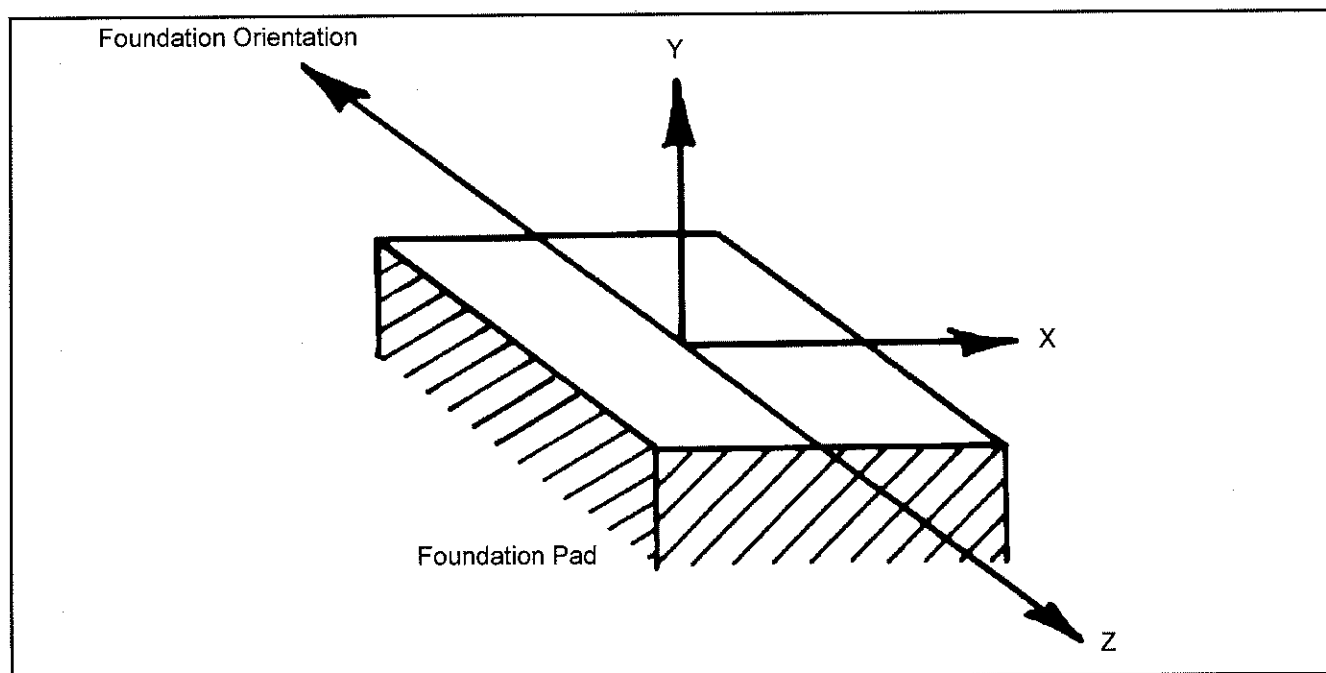
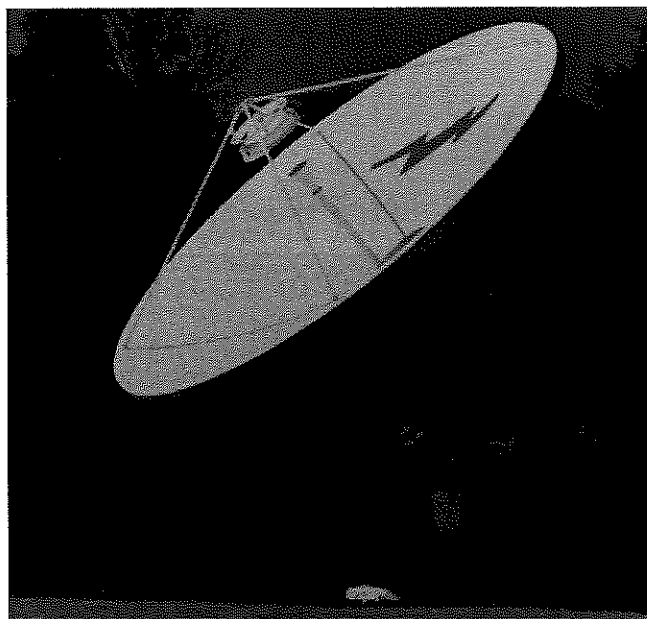


Figure 1



**Andrew Corporation**  
10500 West 153rd Street  
Orland Park, IL U.S.A. 60462

Telephone: 708/349-3300  
FAX (U.S.A.): 1-800/349-5444

Customer Service, 24 hours: U.S.A. • Canada • Mexico: 1-800/255-1479  
U.K.: 0800 250055 • Republic of Ireland: 1 800 535358  
Other Europe: +44 1592 782612

06/03

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EL = 0°

## FOUNDATION LOADING FORCES (lbs)

Wind Speed (mph)	Angle (α)	AZ = 0°			AZ = +60°			AZ = -60°			AZ = 90°		
		x	y	z	x	y	z	x	y	z	x	y	z
125	15°	354	-1841	11220	-9543	-1833	5918	9896	-1847	5305	-11220	-1841	354
125	-15°	-354	-1841	11220	-9896	-1833	5305	9543	-1847	5918	-11220	-1841	-354
125	30°	530	-1841	11210	-9444	-1833	6065	9975	-1847	5147	-11210	-1841	530
125	-30°	-530	-1841	11210	-9975	-1833	5147	9444	-1847	6065	-11210	-1841	-530
125	45°	420	-1841	10870	-9203	-1833	5799	9624	-1847	5071	-10870	-1841	420
125	-45°	-420	-1841	10870	-9624	-1833	5071	9203	-1847	5799	-10870	-1841	-420
125	60°	-707	-1841	10030	-9039	-1833	4402	8332	-1847	5627	-10030	-1841	-707
125	-60°	707	-1841	10030	-8332	-1833	5627	9039	-1847	4402	-10030	-1841	707
125	120°	-2426	-1841	-2634	1069	-1833	-3418	-3494	-1847	783	2634	-1841	-2426
125	-120°	2426	-1841	-2634	3494	-1833	784	-1068	-1847	-3418	2634	-1841	2426
125	135°	-2281	-1841	-4263	2552	-1833	-4106	-4832	-1847	-156	4263	-1841	-2281
125	-135°	2281	-1841	-4263	4832	-1833	-156	-2551	-1847	-4106	4263	-1841	2281
125	150°	-1646	-1841	-5590	4018	-1833	-4220	-5664	-1847	-1369	5590	-1841	-1646
125	-150°	1646	-1841	-5590	5664	-1833	-1369	-4018	-1847	-4220	5590	-1841	1646

EL 30°

## FOUNDATION LOADING FORCES (lbs)

Wind Speed (mph)	Angle (α)	AZ = 0°			AZ = +60°			AZ = -60°			AZ = 90°		
		x	y	z	x	y	z	x	y	z	x	y	z
125	60°	-667	-6646	8804	-7957	-6638	3824	7291	-6653	4979	-8804	-6646	-667
125	-60°	667	-6647	8803	-7291	-6639	4979	7957	-6653	3824	-8803	-6647	667
125	135°	-1862	-845	-4350	2836	-837	-3788	-4698	-851	-562	4350	-845	-1862
125	-135°	1862	-845	-4350	4698	-837	-562	-2836	-821	-3788	4350	-845	1862

EL = 60°

## FOUNDATION LOADING FORCES (lbs)

Wind Speed (mph)	Angle (α)	AZ = 0°			AZ = +60°			AZ = -60°			AZ = 90°		
		x	y	z	x	y	z	x	y	z	x	y	z
125	±60	0	-10162	5627	-4873	-10154	2814	4873	-10168	2814	-5627	-10162	0
125	120°	-69	-762	-3417	2925	-753	-1768	-2993	-767	-1649	3417	-762	-69
125	-120°	69	-761	-3417	2993	-753	-1649	-2925	-767	-1768	3417	-761	69

EL = 90°

## FOUNDATION LOADING FORCES (lbs)

Wind Speed (mph)	Angle (α)	AZ = 0°			AZ = +60°			AZ = -60°			AZ = 90°		
		x	y	z	x	y	z	x	y	z	x	y	z
125	90° Side Wind	-1921	-949	0	-960	-941	-1664	-961	-956	1664	0	-949	1921
	Frontal Wind	0	-949	-1921	-1664	-941	961	1664	-956	961	-1921	-949	0
125	-90° Side Wind	1921	-949	0	961	-941	1664	960	-956	-1664	0	-949	-1921
	Frontal Wind	0	-949	1921	-1664	-941	961	1664	-956	961	1921	-949	0

Table 1

## 3.0 ANCHOR BOLT REQUIREMENTS

3.1 Typical anchor bolt installation configurations and dimensions are shown in Figure 2.

3.2 Andrew type 203666 Anchor Bolt Kit includes anchor bolts, alignment plates and required mounting hardware as shown.

## 4.0 FOUNDATION DESIGNS

4.1 The selected foundation for a particular site is dependent upon local conditions. Soil borings and foundation analysis should be performed by a qualified civil engineer.

EL = 0°													
FOUNDATION LOADING MOMENT (in-lbs)													
Wind Speed (mph)	Angle (α)	AZ = 0°			AZ = +60°			AZ = -60°			AZ = 90°		
		x	y	z	x	y	z	x	y	z	x	y	z
125	15°	985333	-48824	-32031	521078	-48829	837559	464633	-48838	-869208	32031	-48824	985333
125	-15°	985333	48824	33451	464299	48838	870256	521412	48829	-836512	-33451	48824	985333
125	30°	984407	-70569	-48407	534694	-70573	828390	449998	-70560	-876526	48407	-70569	984407
125	-30°	984406	70569	49834	449665	70560	877573	535028	70573	-827342	-49834	70569	984406
125	45°	952914	-94738	-38209	510056	-94753	806067	442959	-94748	-844014	38209	-94738	952914
125	-45°	952914	94738	39635	442625	94748	845062	510390	94748	-805019	-39635	94738	952914
125	60°	875109	-89366	66207	380659	-89357	790876	494458	-89367	-724343	-66207	-89366	875109
125	-60°	875109	89366	-64784	494125	89367	725391	380993	89357	-789829	64784	89366	875109
125	120°	-297894	232651	225420	-343669	232629	-145377	45783	232608	371040	-225420	232651	-297894
125	-120°	-297894	-232651	-223996	45542	-232649	-369993	-343335	-232653	146332	223996	-232651	-297894
125	135°	-448780	235374	211990	-407395	235320	-282740	-41220	235357	494973	-211990	235374	-448780
125	-135°	-448780	-235374	-210566	41554	-235357	-493925	-407061	-235344	283695	210566	-235374	-448780
125	150°	-571693	192460	153173	-417945	192441	-418528	-153546	192480	572037	-153173	192460	-571693
125	-150°	-571694	-192460	-151749	153880	-192480	-570989	-417620	-192441	419576	151749	-192460	-571694
EL = 30°													
FOUNDATION LOADING MOMENT (in-lbs)													
Wind Speed (mph)	Angle (α)	AZ = 0°			AZ = +60°			AZ = -60°			AZ = 90°		
		x	y	z	x	y	z	x	y	z	x	y	z
125	60°	684612	-76965	13558	330988	-76958	599555	-353588	-76876	-585703	-13558	-76965	684612
125	-60°	684464	76865	-12134	353254	76976	586750	331304	76858	-598477	12134	76865	684464
125	135°	-540579	155381	250334	-487154	155399	-342996	-53892	155381	593665	-250334	155381	-540579
125	-135°	-540593	-155381	248909	-54184	-155394	-592618	-485782	-155399	343134	-248909	-155381	-540593
EL = 60°													
FOUNDATION LOADING MOMENT (in-lbs)													
Wind Speed (mph)	Angle (α)	AZ = 0°			AZ = +60°			AZ = -60°			AZ = 90°		
		x	y	z	x	y	z	x	y	z	x	y	z
125	±60°	338700	0	712	169274	-8	293654	169607	8	-292607	-712	0	338721
125	120°	-500059	2889	11291	-259808	2889	-427418	-240624	2882	438930	-11291	2889	-500059
125	-120°	-499985	-2889	-9872	-240958	-2883	-437882	-258936	-2886	428429	9872	-2889	-499985
EL = 90°													
FOUNDATION LOADING MOMENT (in-lbs)													
Wind Speed (mph)	Angle (α)	AZ = 0°			AZ = +60°			AZ = -60°			AZ = 90°		
		x	y	z	x	y	z	x	y	z	x	y	z
125	90° Side Wind	2273	-240	317030	-272957	-226	154809	275358	-226	156939	317030	-240	-2273
	Frontal Wind	318653	0	770	159217	-9	281972	159598	9	-275292	770	0	-318653
125	-90° Side Wind	2304	240	-315610	275024	226	-150267	-272623	226	-159393	-315610	240	-2304
	Frontal Wind	318653	0	712	159217	-9	281964	159598	9	-275292	712	0	-318653

Table 2

4.2 A typical slab type foundation is shown in Figure 2. A copy of this design on a D-size (22" x 33") sheet is available from Andrew on request. Refer to drawing number 240001.

## 5.0 FOUNDATION ORIENTATION

5.1 Proper foundation orientation is required to obtain the

desired orbital arc coverage from a particular site location. The required azimuth and elevation angles of the antenna, relative to the mount must be determined to establish the appropriate foundation orientation. A specific foundation orientation requirement may be requested with the antenna as part of the installation package.

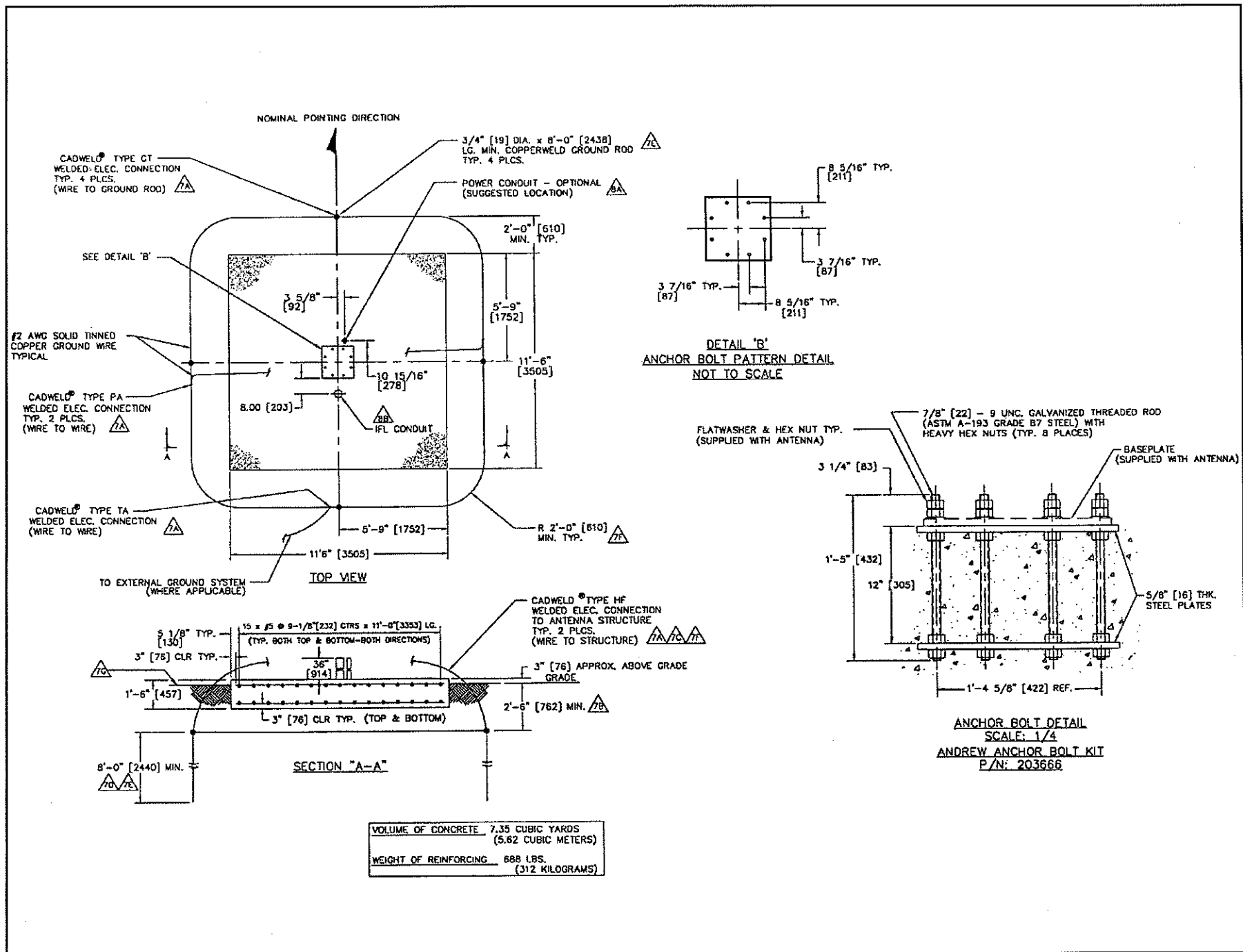


Figure 2

## General Notes

1. Remove all burrs and sharp edges.
2. Dimensions apply before plating.
3. Interpret drawing per ANSI Y14.5M-1982.
4. Dimensions are shown in feet and inches. Dimensions in brackets [ ] are in millimeters.
5. A tolerance of  $\pm 1/8"$  [3] applies to all anchor bolt layout dimensions.

### 6. Foundation Notes:

A) This foundation is a typical design only. Certification of its suitability for a particular installation by a professional engineer is required prior to its use for actual fabrication.

B) Contractor shall field verify all dimensions locating existing construction before fabrication of new construction begins.

C) Concrete and related work shall be mixed, placed and cured in accordance with "Building Code Requirements for Reinforced Concrete" ACI 318-89 (Rev. 88) and "Specifications for Structural Concrete" ACI 301-84 (Rev. 88) publication SP-15 (88).

D) Concrete for foundations shall develop a compressive strength of at least 3000 psi [211 kgf/cm<sup>2</sup>] in 28 days with a maximum slump of 3" [76] at time of placing.

E) Reinforcing bars shall conform to ASTM A 615 [S1] grade 60 deformed type  $F_y = 60000$  psi [4219 kgf/cm<sup>2</sup>].

F) Unless otherwise noted, concrete cover of reinforcing bars shall conform to minimum requirements of ACI 318-89 (Rev. 88).

G) Fabrication of reinforcing steel shall be in accordance with "Manual of Standard Practice for Detailing Reinforcing Concrete Structures" ACI 315-80 (Rev. 86).

H) Provide  $3/4" \times 45^\circ$  [19 x 45°] chamfer on all exposed concrete edges.

J) Foundations have been designed to rest on undisturbed soil (per EIA-411-A and RS-222-D) with a minimum allowable net vertical bearing capacity of 2000 psf [9770 kgf/m<sup>2</sup>]. If undesirable soil conditions are encountered, the engineer shall be notified.

K) Backfills shall be suitable excavated material or other suitable material compacted in 6" lifts to 90% of maximum density as determined by ASTM D1557.

L) If this foundation is to be located in an area where annual frost penetration depth exceeds 15" [381], the local building code specifying a minimum required foundation depth should be consulted.

### 7. Grounding Electrode System Notes:

The grounding system shown represents the minimum requirements to achieve satisfactory grounding. Actual site conditions and soil resistivity levels will determine final grounding system design to comply with the following:

A) All ground ring, ground rod and antenna structure connections to be EIRCO® products, Inc. Calweld® exothermic type welded electrical connections or equivalent.

B) Ground rods shall be driven to a depth below permanent moisture level (minimum depth shown) as dictated by geographical location.

C) The antenna structure shall be connected to a grounding electrode system consisting of a number of interconnected ground rods. The system shall meet the requirements of the Underwriters' Laboratories Publication No. UL96A for Lightning protection.

D) The grounding electrode system to earth resistance shall not exceed 10 Ohms, measured with a Biddle 3 terminal device or equivalent. The grounded conductor (neutral) supplied to all ac equipment on the antenna structure should be disconnected before taking measurement.

E) Actual site conditions may require longer ground rods, additional ground rods and/or land fill additives to reduce soil resistivity levels.

F) Avoid sharp bends when routing grounding wire. Grounding wires to antenna structure to be run as short and straight as possible.

G) Final grade directly above grounding electrode system to be water permeable.

### 8. Power/IFL Conduit Notes:

A) Electrical power - Drawing depicts suggested location for electrical power conduit to antenna. Size, type and depth to bury conduit to be determined by customer in compliance with local codes. Direction to route conduit to be determined by the relative location of communications building/shelter. Power conduit to extend 6" (minimum) above surface of foundation slab. Open ends of conduit to be sealed to prevent moisture and foreign particle contamination.

Customer to provide main load center assembly and over-current protection devices for electrical equipment. Mounting location of load center to be determined by customer in accordance with local codes.

B) For routing IFL cables, 4" size conduit recommended. Type and depth to bury conduit to be determined by customer, in compliance with local codes. Location of conduit on foundation and direction to route conduit to be determined by location of communications building/shelter. Conduit to extend 36" (minimum) above surface of foundation slab. All bends to be large radius, maximum of two bends per run. Open ends of conduit to be sealed to prevent moisture and/or foreign particle contamination.

## 6.0 ANTENNA GEOMETRY

6.1 Figure 3 illustrates basic dimensional characteristics and azimuth adjustment range capabilities of the 4.5-meter motorizable antenna. Figure 4 illustrates the corresponding characteristics and capabilities of the 4.6-meter antenna.

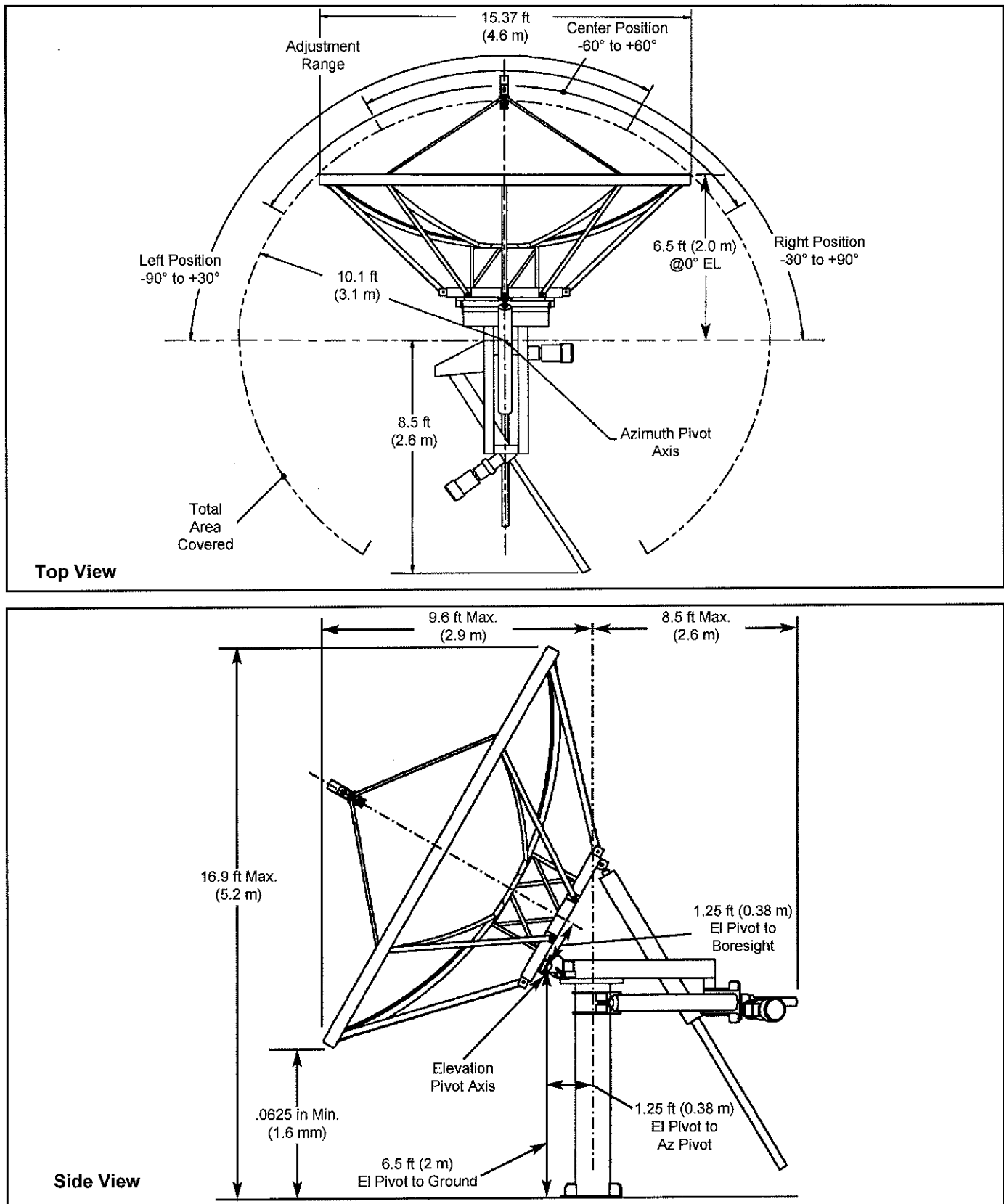


Figure 3 - 4.5-Meter Earth Station Antenna With Motorizable Mount

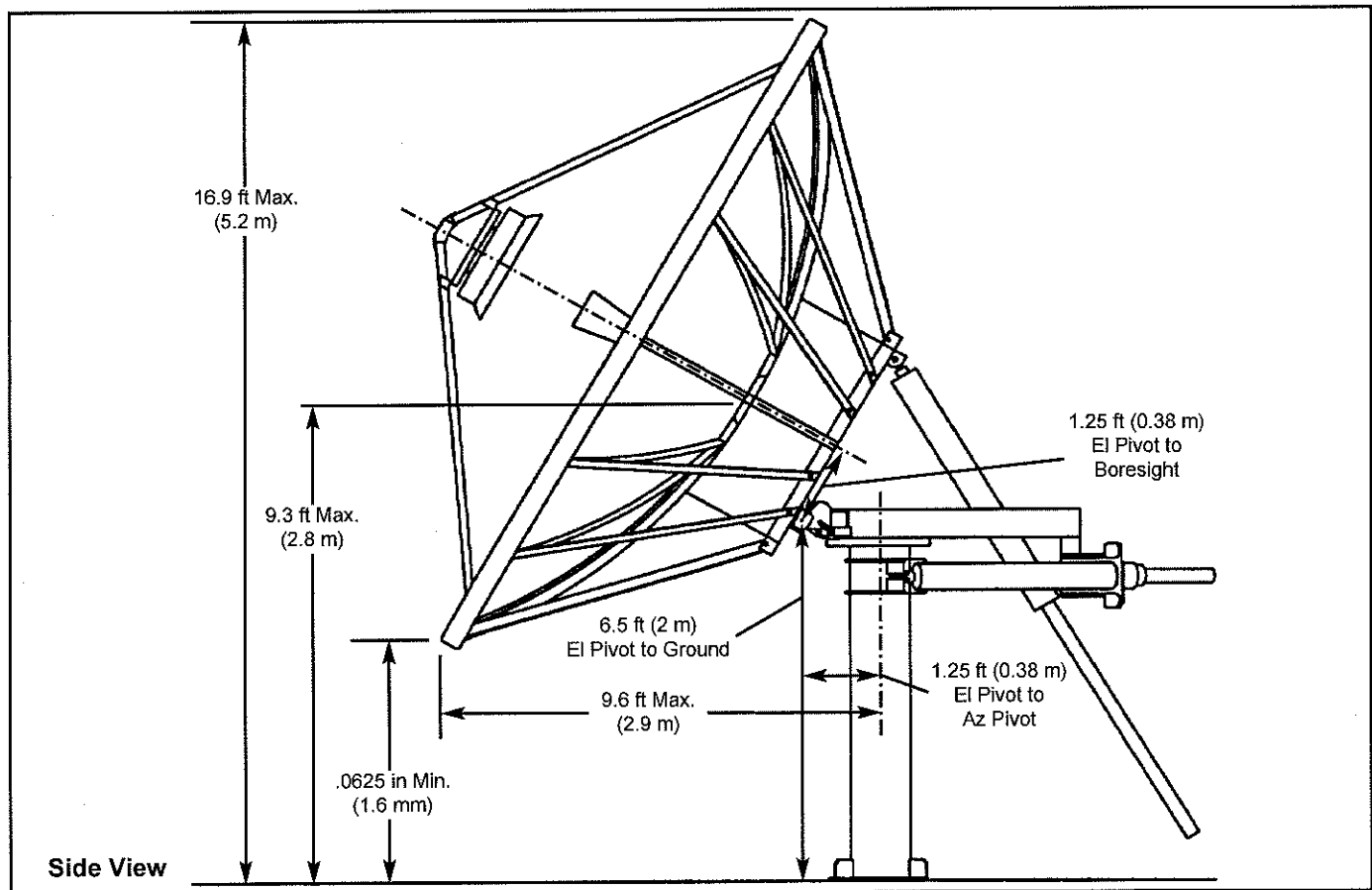
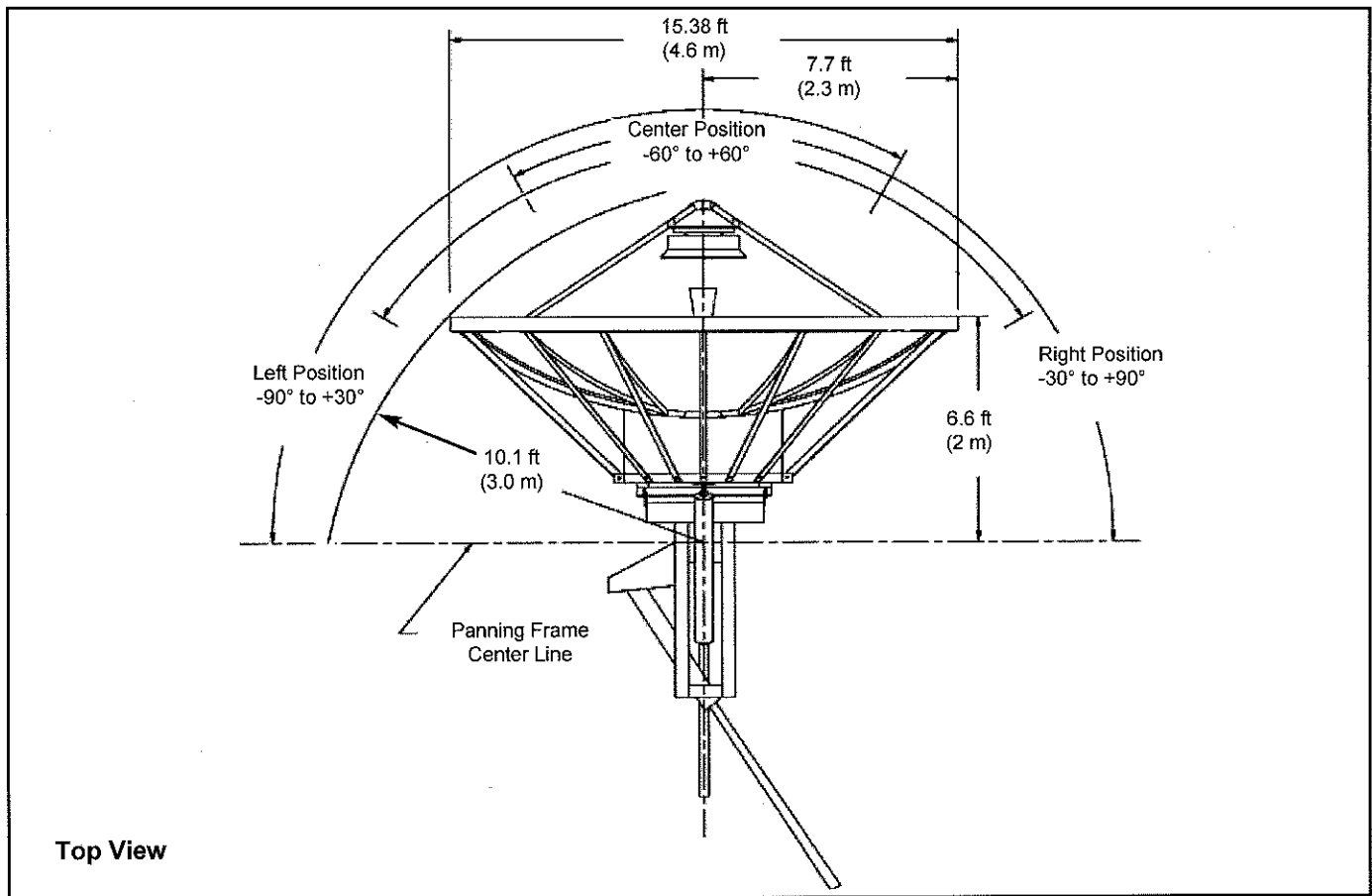
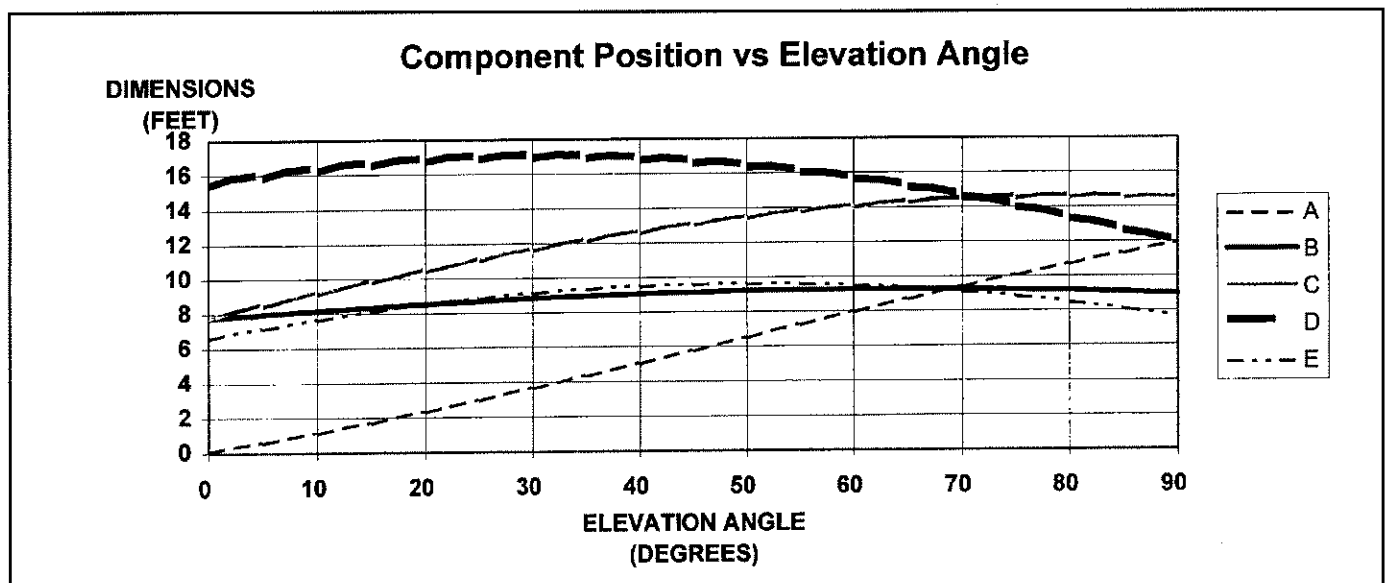
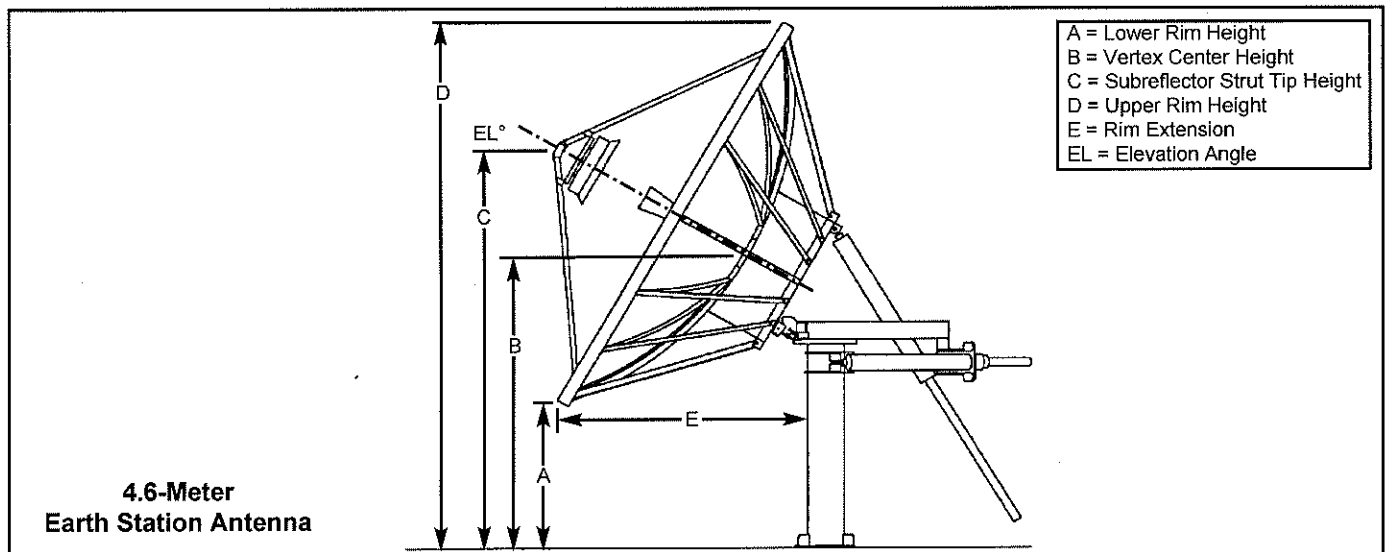
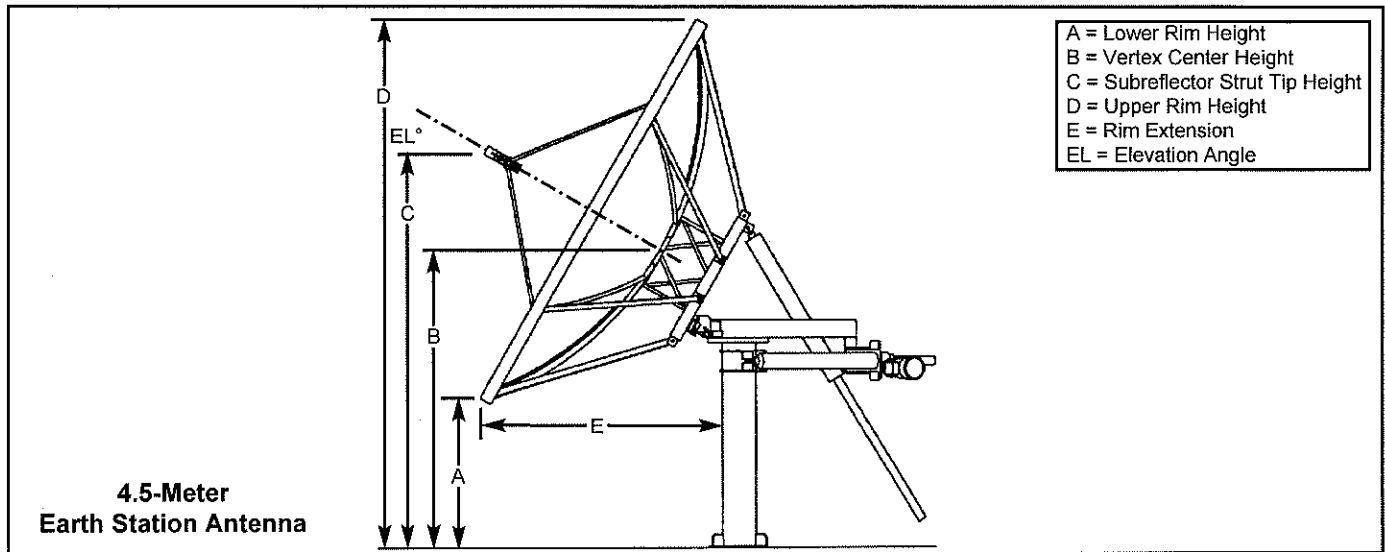
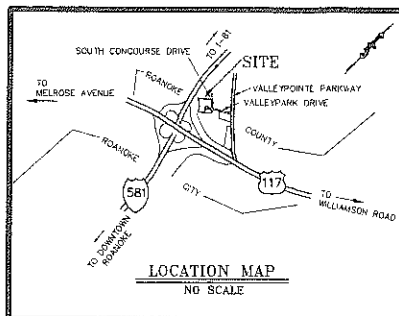


Figure 4 - 4.6-Meter Earth Station Antenna With Motorizable Mount

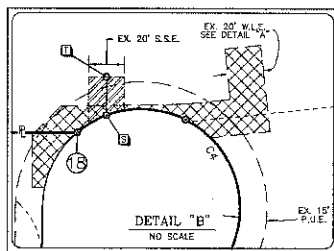
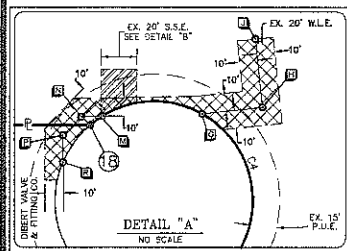
Figure 5 illustrates varying dimensions from ground reference of selected antenna points as the elevation angle fluctuates from 0° to 90°.





TAX PARCEL  
37.07-1-1C  
TRUCK ENTERPRISES, INC.  
D.B. 1459 Pg. 1302

ALTA/ACSM LAND TITLE SURVEY  
SHOWING PROPERTY (5.597 Ac.)  
OF  
**ROANOKE VALLEYPONTE, LLC**  
BEING  
TAX PARCEL 37.07-1-16  
TRACT 3D-1A1  
(P.B. 23, PAGE 81)  
SITUATED AT THE TERMINUS OF  
VALLEYPARK DRIVE  
HOLLINS MAGISTERIAL DISTRICT  
ROANOKE COUNTY, VIRGINIA  
SCALE: 1" = 30' DATE: 2 DECEMBER 1999  
REVISED DATE: 27 JUNE 2000



CENTERLINE CHART (DETAIL "A")  
NEW 20' WATERLINE EASEMENT

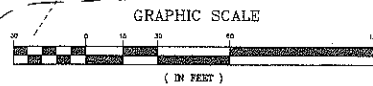
LINE	DIRECTION	DISTANCE
11-A	N 40°10'57" W	83.23 (Chd.)
11-B	N 26°17'14" W	33.89
11-C	S 49°12'46" W	38.00
11-D	N 20°42'24" W	8.23 (Chd.)
11-E	S 39°42'00" E	11.00
11-F	S 60°00'00" E	14.50
11-G	N 85°57'27" E	14.97
11-H	N 80°54'11" W	24.42

--- DENOTES THE LINE ONLY

CENTERLINE CHART (DETAIL "B")  
SANTARY SEWER EASEMENT

LINE	DIRECTION	DISTANCE
11-B	N 26°17'14" W	16.81 (Chd.)
11-C	S 49°12'46" W	24.42

--- DENOTES THE LINE ONLY



CURVE TABLE

CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	Δ DELTA
C1	1407.40'	230.10'	115.31'	228.85'	S 41°56'00" E	08°22'03"
C2	50.00'	80.84'	52.46'	72.39'	S 09°37'31" W	92°45'00"
C3	25.00'	32.95'	19.36'	30.62'	N 86°44'20" W	75°31'17"
C4	50.00'	197.88'	236.93'	107.15'	S 27°57'10" W	206°08'16"

CENTERLINE CHART  
EX. 20' WATERLINE EASEMENT

LINE	DIRECTION	DISTANCE
11-A	S 45°18'15" E	84.23 (Chd.)
11-B	S 60°00'00" E	14.50
11-C	S 47°50'47" W	132.74
11-D	N 20°42'24" W	108.47
11-E	N 27°18'30" W	19.46
11-F	S 50°00'00" W	10.00

--- DENOTES THE LINE ONLY

TAX PARCEL  
37.07-1-17  
VALLEYPONTE PROPERTY OWNERS  
ASSOCIATION, INC.  
INSTRUMENT NO. 0007722  
TRACT 4A-1A (P.B. 23 Pg. 81)

TAX PARCEL  
37.07-1-15  
OPTICAL CABLE CORP.  
D.B. 1521 Pg. 994  
TRACT 3E-1A (P.B. 19 Pg. 40)

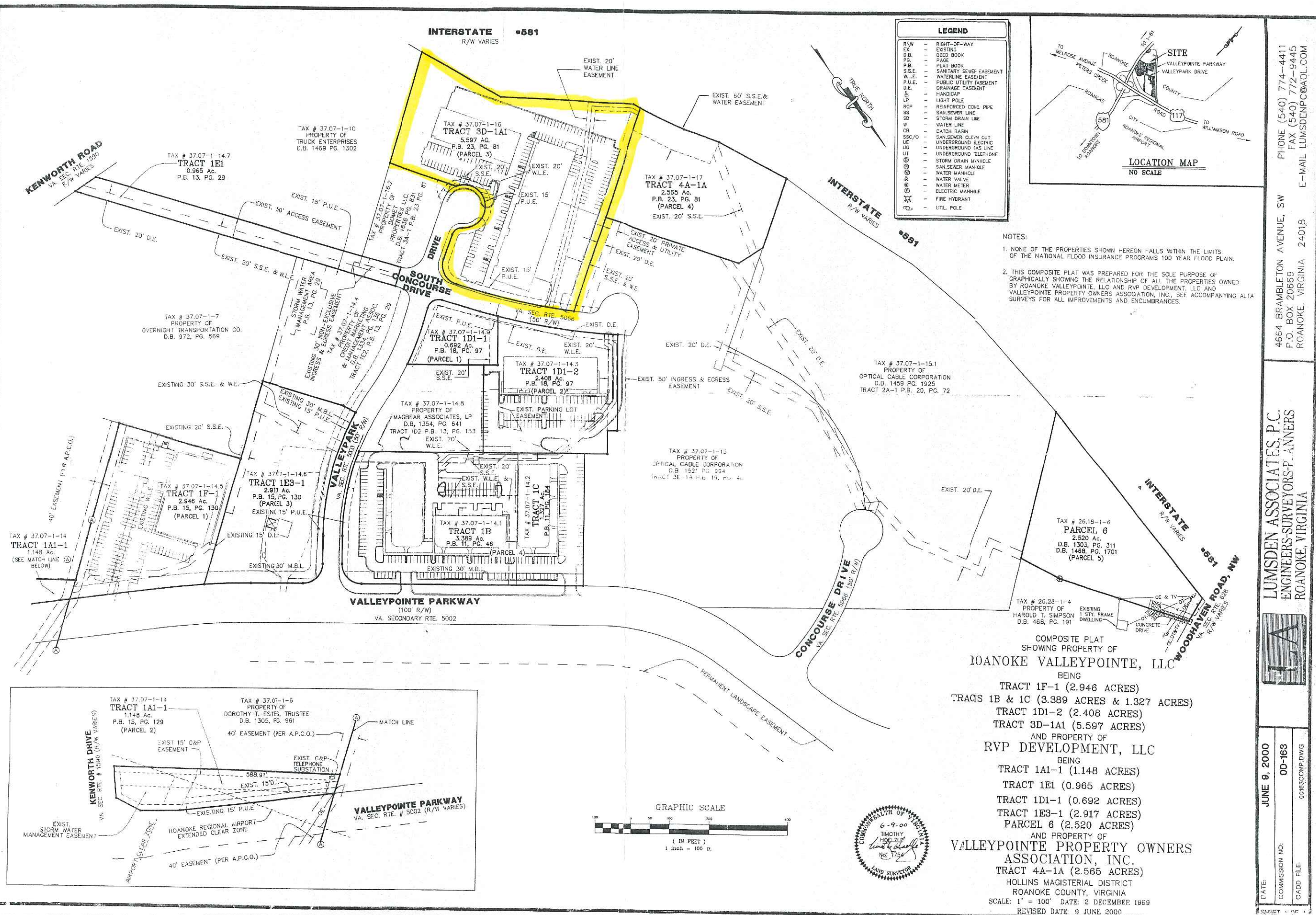
LEGEND

R/W	RIGHT-OF-WAY
EX	EXISTING
D.B.	DEED BOOK
P.B.	PAGE
P.B.	PLAT BOOK
S.S.E.	SANTARY SEWER EASEMENT
W.L.E.	WATERLINE EASEMENT
P.U.E.	PUBLIC UTILITY EASEMENT
D.E.	DRAINAGE EASEMENT
HANDICAP	HANDICAP
UT	UTILITY
RCP	REINFORCED CONC. PIPE
SS	SAN SEWER LINE
SD	STORM DRAIN LINE
W	WATER LINE
CB	CATCH BASIN
SSC/O	SAN SEWER CLEAN OUT
UE	UNDERGROUND ELECTRIC
UG	UNDERGROUND GAS LINE
UT	UNDERGROUND TELEPHONE
SDM	STORM DRAIN MANHOLE
SM	SAN SEWER MANHOLE
WM	WATER MANHOLE
WV	WATER VALVE
WM	WATER METER
EM	ELECTRIC MANHOLE
FH	FIRE HYDRANT

LUMSDEN ASSOCIATES, P.C.  
ENGINEERS SURVEYORS-PLANNERS  
ROANOKE, VIRGINIA

4664 BRAMBLETON AVENUE, SW  
P.O. BOX 20669  
ROANOKE, VIRGINIA 24018  
PHONE (540) 774-4411  
FAX (540) 772-9445  
E-MAIL LUMSDENPC@AOL.COM

DATE: JUNE 27, 2000  
COMMISSION NO. 00-163  
CADD FILE: 00163-3D-AL.DWG  
SHEET 2 OF 2



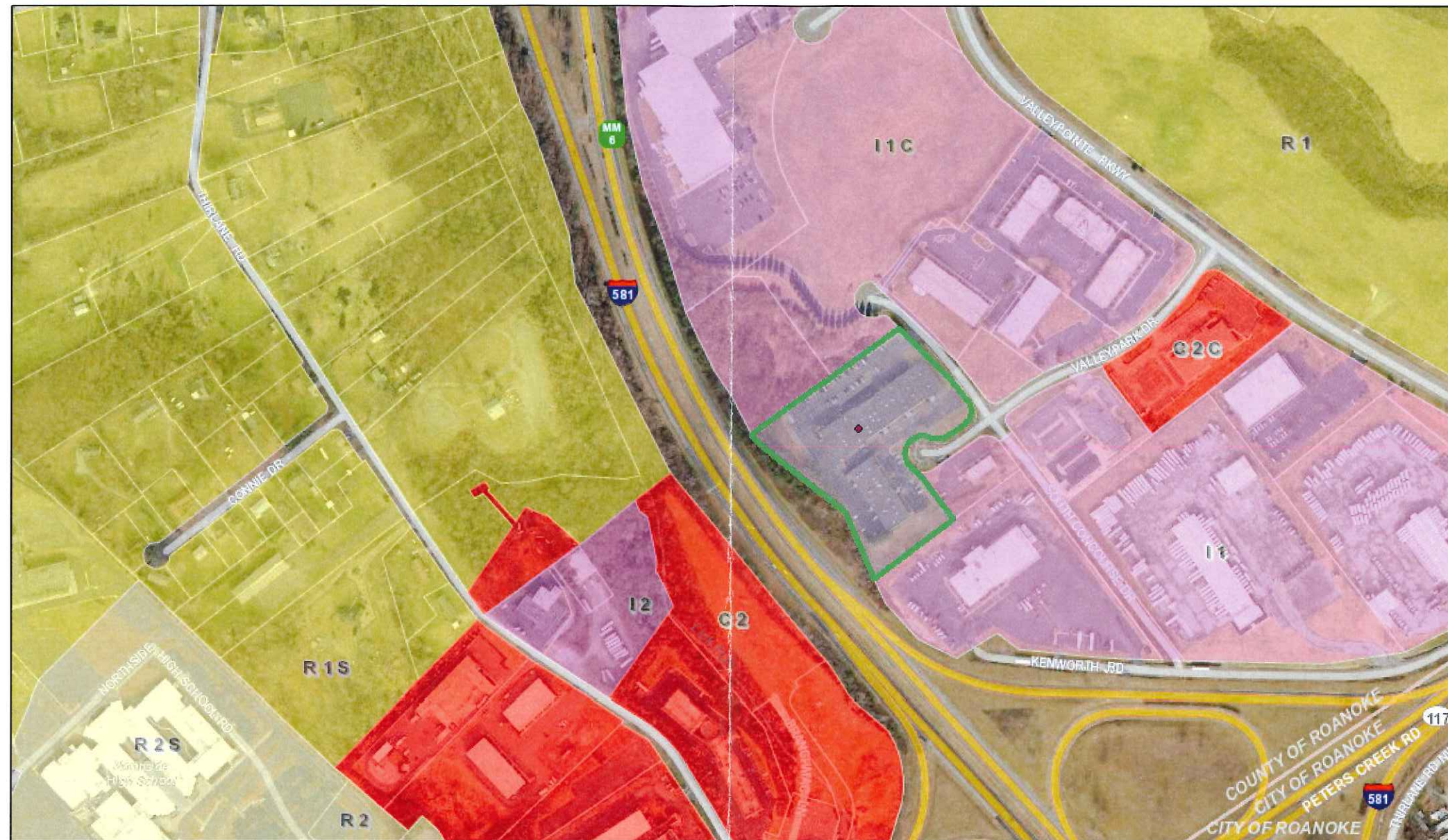
**LOCATION, NAMES OF OWNERS AND ROANOKE COUNTY TAX MAP NUMBERS  
OF ADJOINING PROPERTIES TO 5305 VALLEYPARK DRIVE.**



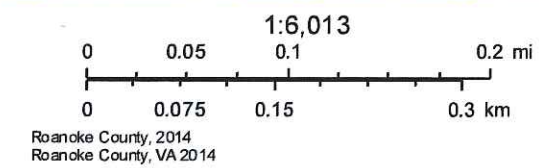
- ❖ Property to the NORTH of 5305 Valleypark Drive (lot "A" on map provided above)
  - Lot Address: 5251 South Concourse Drive
  - Owner: Roanoke Valleypointe, LLC (c/o Hall Associates)
  - Owner's Address: 213 S. Jefferson St., Ste 1007, Roanoke, VA 24011
  - Tax Map Number: 037.07-01-14.03-0000
- ❖ Property to the NORTHEAST of 5305 Valleypark Drive (lot "B" on map provided above)
  - Lot Address: 0 Valleypark Drive
  - Owner: Valley Point Holding Company
  - Owner's Address: 2404 Electric Rd., Ste B, Roanoke, VA 24018
  - Tax Map Number: 037.07-0114.09-0000
- ❖ Property to the EAST of 5305 Valleypark Drive (lot "C" on map provided above)
  - Lot Address: 5240 Valleypark Drive
  - Owner: Tech Federal Credit Union
  - Owner's Address: PO Box 1999 Salem, VA 24153
  - Tax Map Number: 037.07-01-14.04-0000

- ❖ Property to the SOUTHEAST of 5305 Valleypark Drive (lot "D" on map provided above)
  - Lot Address: 5304 Valleypark Drive
  - Owner: Domet Properties, LLC
  - Owner's Address: 5304 Valley Park Drive, Roanoke, VA 24019
  - Tax Map Number: 037.07-01-16.02-0000
  
- ❖ Property to the SOUTH-SOUTHEAST of 5305 Valleypark Drive (lot "E" on map provided above)
  - Lot Address: 4700 Kenworth Road
  - Owner: Truck Enterprises, Inc.
  - Owner's Address: PO Box 4470, Harrisonburg, VA 22801
  - Tax Map Number: 037.07-01-10.00-0000
  
- ❖ Property to the SOUTH-SOUTHWEST of 5305 Valleypark Drive (across I-581) (lot "F" on map provided above)
  - Lot Address: 6627 Branchmac Lane
  - Owner: MacFarlane Granger
  - PO Box 201, Roanoke, VA 24011
  - Tax Map Number: 037.10-01-01.00-0000
  
- ❖ Property to the SOUTHWEST of 5305 Valleypark Drive (across I-581) (lot "G" on map provided above)
  - Lot Address: 0 Branchmac Lane
  - Owner: Powers, Calvin W.
  - PO Box 1068, Roanoke, VA 24022
  - Tax Map Number: 037.06-01-26.00-0000
  
- ❖ Property to the WEST of 5305 Valleypark Drive (across I-581) (lot "H" on map provided above)
  - Lot Address: 0 Thirlane Road
  - Owner: RHM Properties, LC
  - PO Box 11832, Roanoke, VA 24022
  - Tax Map Number: 037.06-01-01.00-0000
  
- ❖ Property to the NORTHWEST of 5305 Valleypark Drive (lot "I" on map provided above)
  - Lot Address: 0 Valleypark Drive
  - Owner: Valleypointe Prop Owners Assoc (c/o Hall Associates)
  - 213 S. Jefferson St., Ste 1007, Roanoke, VA 24011
  - Tax Map Number: 0337.07-01-17.00-0000
  
- ❖ Property to the NORTH-NORTHWEST of 5305 Valleypark Drive (lot "J" on map provided above)
  - Lot Address: 0 North Concourse Drive
  - Owner: Optical Cable Corporation
  - 5290 North Concourse Drive, Roanoke, VA 24019
  - Tax Map Number: 037.07-01-15.00-0000

# Zoning overlay



January 16, 2015



Tract 3D-1A1

Tax Map No. 037.07-01-16.00-0000

BEGINNING at Corner #1, an existing rebar iron pin said point being the southwesterly corner of Tract 3A-1, property of Domet Properties LLC (PB 23, PG 81), said point also located on the northwesterly property line of Truck Enterprises, Inc. (DB 1469, PG 1302); thence leaving Domet Properties LLC, and with Truck Enterprises, S. 52° 45' 01" W. 295.09 feet to Corner #2, an existing rebar iron pin said point located on the northeasterly right-of-way of Interstate 581; thence leaving Truck Enterprises and with the said right-of-way of Interstate 581 for the following 3 courses: N. 24° 42' 09" W. 231.36 feet to Corner #3, an existing VDH Monument; thence N. 50° 43' 15" W. 346.06 feet to Corner #4, an existing VDH monument; thence N. 27° 18' 30" W. 20.18 feet to Corner #4A, an existing rebar iron pin said point being the southerly corner of Tract 4A-1A (PB 23, PG 81); thence leaving Interstate 581 and with Tract 4A-1A, N. 55° 00' 00" E. 296.69 feet to Corner #10, said point being the southeasterly corner of property of Optical Cable Corporation Tract 3E-1A (PB 19, PG 40); thence leaving Tract 4A-1A and with Optical Cable Corp. Tract 3E-1A, N. 55° 00' 00" E. 255.92 feet to Corner #11, an existing rebar iron pin said point located on the southerly right-of-way of South Concourse Drive; thence leaving Optical Cable and with South Concourse Drive for the following 3 courses: thence with a curve to the right which said curve is defined by a delta angle of 9° 22' 03", a radius of 1407.40 feet, an arc length of 230.10, a chord of 229.85 feet and bearing S. 41° 56' 00" E. to Corner #12, an existing rebar iron pin; thence S. 37° 14' 59" E. 78.31 feet to Corner #13, an existing rebar iron pin; thence with a curve to the right, which said curve is defined by a delta angle of 92° 45' 00", a radius of 50.00 feet, an arc length of 80.94 feet, a chord of 72.39 feet and bearing S. 09° 07' 31" W. to Corner #14, an existing rebar iron pin, said point located on the westerly right-of-way of Valley Park Drive; thence with Valley Park Drive for the following 3 courses: S. 55° 30' 01" W. 68.08 feet to Corner #14A, an existing rebar iron pin; thence with a curve to the right, which said curve is defined by a delta angle of 75° 31' 17", a radius of 25.00 feet, an arc of 32.95 feet, a chord of 30.62 feet and bearing N. 86° 44' 20" W. to Corner #14B, an existing rebar iron pin; thence with a curve to the left which curve is defined by a delta angle of 206° 08' 16", a radius of 55.00 feet, an arc length of 197.88 feet, a chord of 107.15 feet and bearing S. 27° 57' 10" W. to Corner #18, an existing rebar iron pin said point located on the southerly boundary of property of Domet Properties LLC., Inc., Tract 3A-1 (PB 23, PG 81); thence leaving Valley Park Drive and with Domet Properties, LLC, S. 34° 42' 35" E. 181.61 feet to Corner #1, the place of BEGINNING and containing 5.597 acres and being all of Tract 3D-1A1, as recorded in Plat Book 23, page 81 in the Clerk's Office of the Circuit Court for the County of Roanoke, Virginia, and as shown on ALTA/ACSM Land Title Survey made by Lumsden Associates, P.C., dated December 2, 1999, last revised June 27, 2000 (Commission #00-163 / File #00163-3D-AL.DWG).

**Property Location:** 5305 VALLEYPARK DR  
**Parcel ID:** 037.07-01-16.00-0000  
**Magisterial District:** CATAWBA  
**Account:** 10822  
**Card 2 of 2**

**Owner Name and Mailing Address:**  
ROANOKE VALLEYPONTE LLC  
C/O HALL ASSOCIATES 213 S JEFFERSON ST STE 1007  
ROANOKE VA 24011

**Current Property Assessment 2015**

**Total Building Value:** 4902800  
**Total Land Value:** 782600  
**Total Value:** 5685400

**Card: 2**      **Total Building Value:** 3291200



**Narrative Description**

This property contains 5.59000 AC of land with a(n) OFFICE style building, Built about 1998, having primary FACE BRICK secondary CONCRETE BLOCK exterior and RUBBER roof cover, 0 bedroom(s), 0 full bath(s), 0 half bath(s).

**Property Characteristics**

**Jurisdiction:** COUNTY  
**Legal Description:** TR 3D 1A1 VALLEYPONTE  
**Deeded Acreage:** 5.59000 AC      **Neighborhood:** F002 / VALLEYPONTE  
**Estimated Acreage:** 5.4424408 AC      **Census Block:** 511610302051020  
**Vacant Land:** NO      **Land Use Program:** NO

**Sales Information**  
**Most Recent Sales**

<u>Sale Date</u>	<u>Sale Price</u>	<u>Legal Reference</u>	<u>Sales Description</u>
7/7/2000	13300000	DB0016631218	MULTI PARCEL SALE
6/22/2000	0	PB0000230081	PLAT
6/22/2000	0	DB0016600484	UNKNOWN REASON
6/7/2000	0	DB0016600492	NEEDS REVIEW
8/25/1997	353000	DB0015520885	SPLIT
9/26/1996	0	DB0015210974	NEEDS REVIEW

Property Location: 5305 VALLEYPARK DR  
Parcel ID: 037.07-01-16.00-0000  
Magisterial District: CATAWBA  
Account: 10822  
Card 2 of 2

### Zoning Information

Split: NO

Zoning Code

County-I1

Zoning Description

County-I1/Industrial (Light) District

Action No:

Date:

Ordinance:

Name:



Property Location: 5305 VALLEYPARK DR  
Parcel ID: 037.07-01-16.00-0000  
Magisterial District: CATAWBA  
Account: 10822  
Card 2 of 2

#### Overlay Districts

Emergency Communications: No  
Airport: Yes  
Wellhead Protection: No  
Floodplain: No

Roanoke River Conservation: No  
\*Manufactured Housing: No  
Clearbrook Village: No

\*For more Information on Roanoke County Zoning, please call 540-772-2068 or visit

<http://www.roanokecountyva.gov/pz>

Community Number: 510190

#### Flood Zone Information

Flood Certificates FIRM Panel:  
Flood Zone:

Effective Date:  
Floodway:

#### Building Description

<b>Building Type:</b>	OFFICE	<b>Foundation Type:</b>	SPREAD FOOTING
<b>Year Built:</b>	1998	<b>Roof Structure:</b>	BAR JOIST
<b>Finished Area (SF):</b>	37148	<b>Roof Cover:</b>	RUBBER
<b>Style/Story Height:</b>	1.0 STORY	<b>Primary Exterior Wall:</b>	FACE BRICK
<b>Bedrooms:</b>	0	<b>Secondary Exterior Wall:</b>	CONCRETE BLOCK
<b>Full Baths:</b>	0	<b>Primary Interior Walls:</b>	DRYWALL
<b>Half Baths:</b>	0	<b>Secondary Interior Wall:</b>	
<b>Air Conditioning:</b>	100%	<b>Primary Floors:</b>	CARPET
<b>Heating:</b>	100%	<b>Secondary Floors:</b>	
<b>Heating Type:</b>	AIR-DUCTED	<b>Basement Garage:</b>	
<b>Heating Fuel:</b>	GAS	<b>Fireplace:</b>	

**Property Location:** 5305 VALLEYPARK DR

**Parcel ID:** 037.07-01-16.00-0000

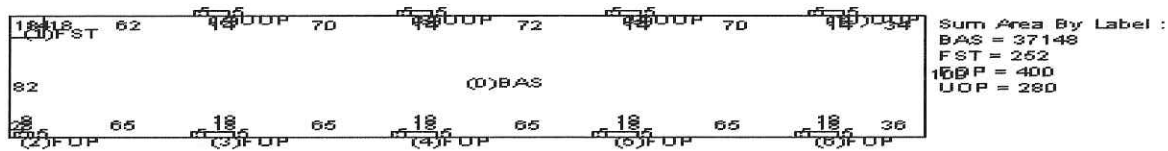
**Magisterial District:** CATAWBA

**Account:** 10822

**Card 2 of 2**

## Building Areas

<u>Sub Area</u>	<u>Sketched Area</u>	<u>Finished Area</u>	<u>Perimeter</u>
BASE	37148	37148	1006
PORCH-OPEN FINISHED	90	0	46
PORCH-OPEN FINISHED	40	0	26
PORCH-OPEN FINISHED	90	0	46
PORCH-OPEN FINISHED	90	0	46
PORCH-OPEN FINISHED	90	0	46
PORCH-OPEN UNFINISHED	70	0	38
PORCH-OPEN UNFINISHED	70	0	38
PORCH-OPEN UNFINISHED	70	0	38
PORCH-OPEN UNFINISHED	70	0	38
STORAGE-FINISHED	252	0	64



---

**Property Location:** 5305 VALLEYPARK DR  
**Parcel ID:** 037.07-01-16.00-0000  
**Magisterial District:** CATAWBA  
**Account:** 10822  
**Card 2 of 2**

---

#### Services

**Trash Service:** [WEDNESDAY](#)

**Bulk & Brush Pickup:** [B ROUTE](#)

**Recycling:** [Map](#)

HOLLINS UNIVERSITY (3.83 miles)

**Recreational Center:** [Map](#)

GREEN RIDGE RECREATIONAL CENTER (0.63 miles)

**Library:** [Map](#)

HOLLINS BRANCH LIBRARY (2.49 miles)

**Western Virginia Water Authority** [Website](#)

**Water:** Water

**Sewer:** Sewer

**Police Station:** [Map](#)

Public Safety Center, 5925 Cove Rd, Roanoke VA

**Fire Station:** [Map](#)

HOLLINS

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#### Schools

**Elementary School:** [GLEN COVE](#)

**Middle School:** [NORTHSIDE](#)

**High School:** [NORTHSIDE](#)

**Property Location:** 5305 VALLEYPARK DR  
**Parcel ID:** 037.07-01-16.00-0000  
**Magisterial District:** CATAWBA  
**Account:** 10822  
**Card 2 of 2**

### Broadband Providers

#### Wireless 4G

<u>Provider Name</u>	<u>Upload Speed</u>	<u>Download Speed</u>
AT&T MOBILITY, LLC.	1.5 - 3 Mbps	3 - 6 Mbps
T-MOBILE	1.5 - 3 Mbps	6 - 10 Mbps
T-MOBILE	1.5 - 3 Mbps	10 - 25 Mbps
T-MOBILE	6 - 10 Mbps	10 - 25 Mbps
VERIZON WIRELESS	3 - 6 Mbps	10 - 25 Mbps

#### Wireless LTE

<u>Provider Name</u>	<u>Upload Speed</u>	<u>Download Speed</u>
AT&T MOBILITY, LLC.	3 - 6 Mbps	10 - 25 Mbps
VERIZON WIRELESS	3 - 6 Mbps	10 - 25 Mbps

#### Wireline Cable

<u>Provider Name</u>	<u>Upload Speed</u>	<u>Download Speed</u>
COX COMMUNICATIONS	10 - 25 Mbps	100 - 1000 Mbps

#### Wireline DSL

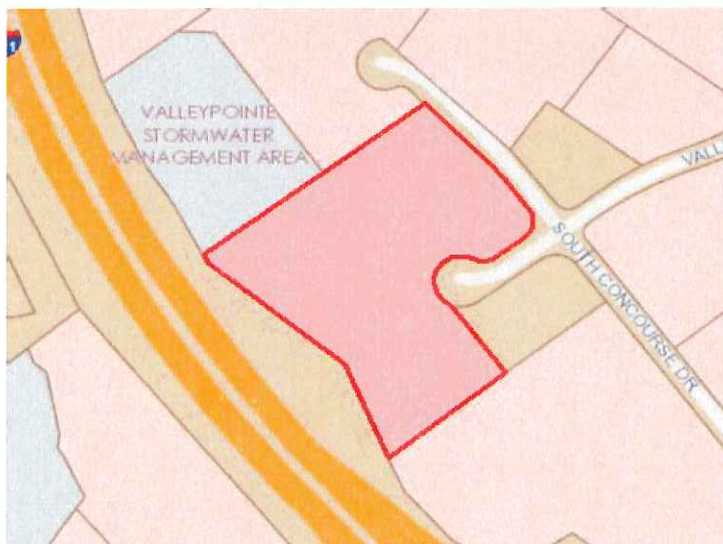
<u>Provider Name</u>	<u>Upload Speed</u>	<u>Download Speed</u>
VERIZON VIRGINIA, INC.	768 Kbps - 1.5 Mbps	3 - 6 Mbps

Property Location: 5305 VALLEYPARK DR  
Parcel ID: 037.07-01-16.00-0000  
Magisterial District: CATAWBA  
Account: 10822  
Card 2 of 2

### Pictometry



### Tax Map



**Property Location:** 5305 VALLEYPARK DR

**Parcel ID:** 037.07-01-16.00-0000

**Magisterial District:** CATAWBA

**Account:** 10822

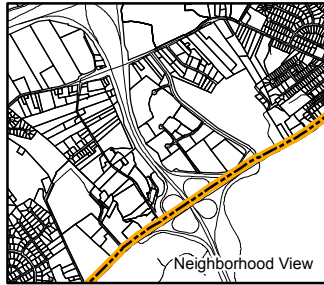
**Card 2 of 2**

### Hybrid





Seal of the State of Virginia  
 Department of Community Development  
 5204 Bernard Drive  
 Roanoke, Virginia 24058  
 (540) 772-2065

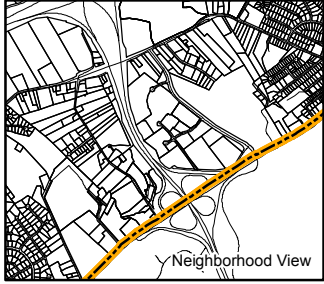
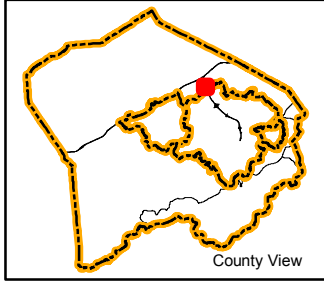
[illegible]

### Jurisdictions



# Nexstar Broadcasting, Inc.

Name: 8.5x11 (10:1) Map Template  
Prepared by: twood  
Date: Monday, January 26, 2015



## Zoning

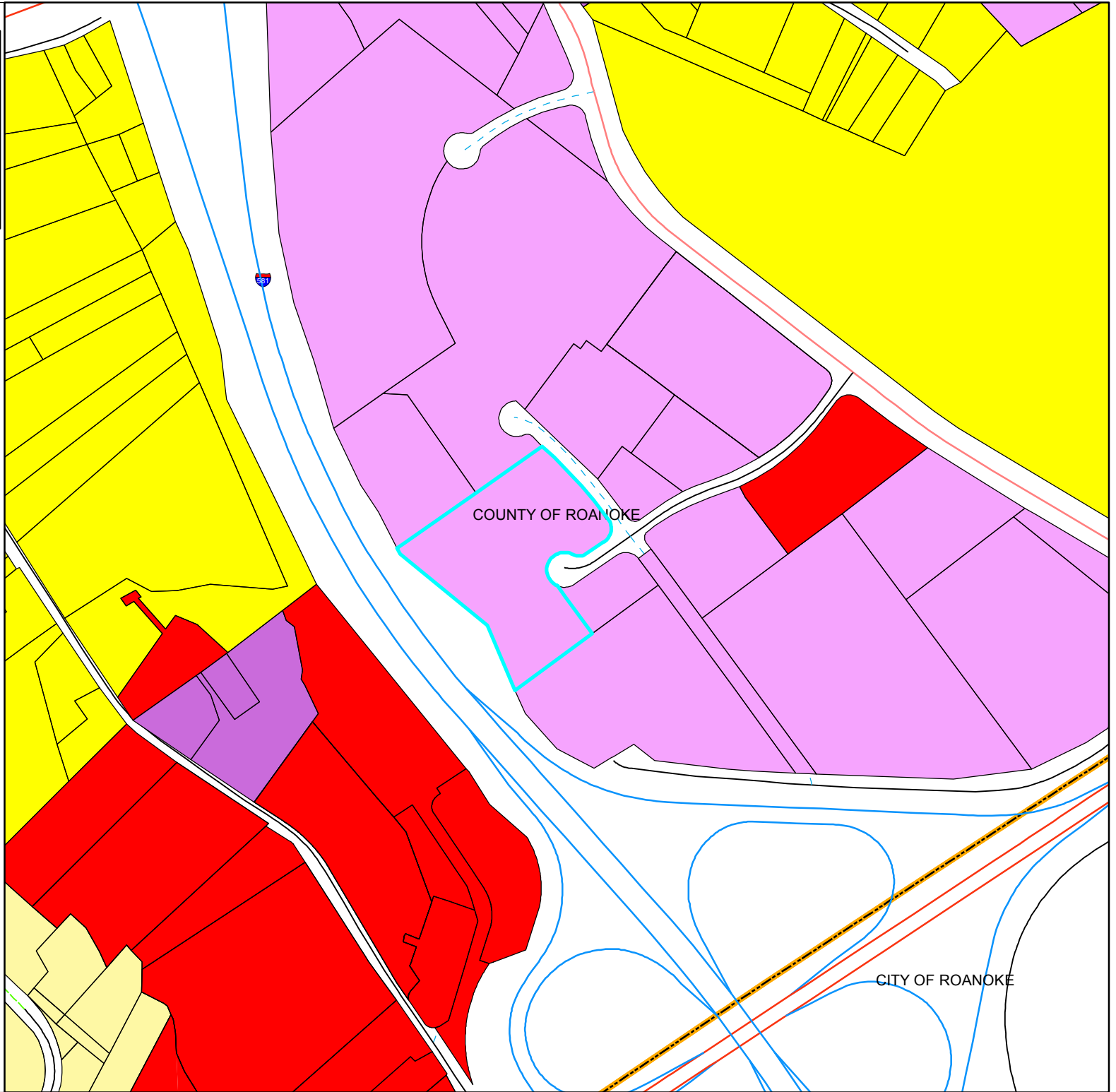
- C2
- I1
- I2
- R1
- R2

### DISCLAIMER

This data is provided "as is" and the County of Roanoke expressly disclaims all warranties, explicit or otherwise, regarding the data provided herein. The data is provided for informational purposes only and is not intended to be used for any purpose other than that for which it was collected. The data is provided as a service to the public and is not intended to be used for any purpose other than that for which it was collected. The data is provided as a service to the public and is not intended to be used for any purpose other than that for which it was collected.

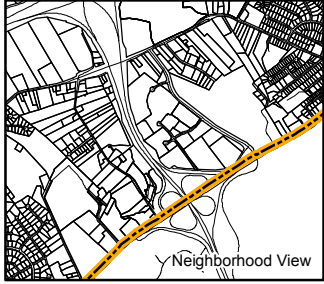
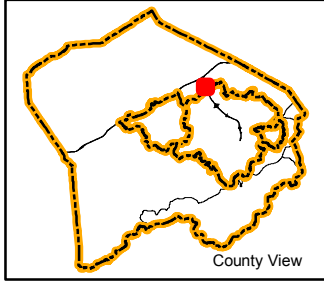
Roanoke County - Community Development Department - GIS Division

1 inch = 417 feet



# Nexstar Broadcasting, Inc.

Name: 8.5x11 (10.1) Map Template  
Prepared by: twood  
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## FutureLandUse

- Neighborhood Conservation
- Transition
- Core
- Principal Industrial

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Roanoke County - Community Development Department - GIS Division

1 inch = 417 feet

0 55 110 220 330 440 Feet

